



TOWN OF PUTNAM ZONING COMMISSION

Check One:

- Application for Special Permit of Exception
- Application for Amendment to Regulation
- Application for Zone Change
- Other, _____

Docket No. _____
 Date _____
 Fee: _____
 Amount - Check No. _____

- 1.) Name of Applicant: Don DiCostanzo (112 Old Road, LLC)
 Address, Telephone No., & Email Address 379 New Sweden Road, Woodstock, CT 06281
860-465-7735 donnydwoodstock@att.net
- 2.) Owner of Land 112 Old Road, LLC
 Address, Telephone No., & Email Address 379 New Sweden Road, Woodstock, CT 06281
860-465-7735 donnydwoodstock@att.net
- 3.) Location of Property 112 Old Road Zone R-40
 Street Address
 Assessor's Map No. 45 Lot No. 39

4.) State the nature of your request in detail including the section of the regulations that affect you. Also please attach a sketch of your proposal with this application. If this application is for a Zone Change attach a list of the abutters that are within 500 feet of the property.

Applicant requests to change the Zone of the property from R-40 to Industrial in order to develop the parcel into General Warehousing & Storage, Open Lot Storage of Building Materials & Machinery, Open Storage of Earth Material, and Heavy Truck & Tractor Trailer Repair. See Plan Set for details.

SUBMIT THIS APPLICATION NO LESS THAN 21 WORKING DAYS PRIOR TO MEETING DATE
 I hereby certify that all the information provided is accurate and complete.

Date Accepted _____
 Date Rejected _____

 Signature of Applicant Date

 Signature of Chairperson Date

Owner Name	Co_Owner Name	Owner Address	Owner Address 2	Owner City	Owner State	Owner Zip
BELLERIVE GERALD P LU	CJJ ADVENTURE LLC	1225 SE 27TH ST		CAPE CORAL	FL	33904
CONNECTICUT LIGHT AND POWER COMPANY	ATTN: PROPERTY TAXES	P O BOX 270		HARTFORD	CT	06141
CONNECTICUT LIGHT AND POWER COMPANY	ATTN:PROPERTY TAXES	P O BOX 270		HARTFORD	CT	06141
CONNECTICUT STATE OF		79 ELM ST		HARTFORD	CT	06106
DCH VENTURE LLC		379 NEW SWEDEN RD		WOODSTOCK	CT	06281
JOSHUA TREE ASSOCIATES LLC		PO BOX 872590		VANCOUVER	WA	98687
PUTNAM TOWN OF	WATER TANK	200 SCHOOL ST		PUTNAM	CT	06260



TOWN OF PUTNAM ZONING COMMISSION

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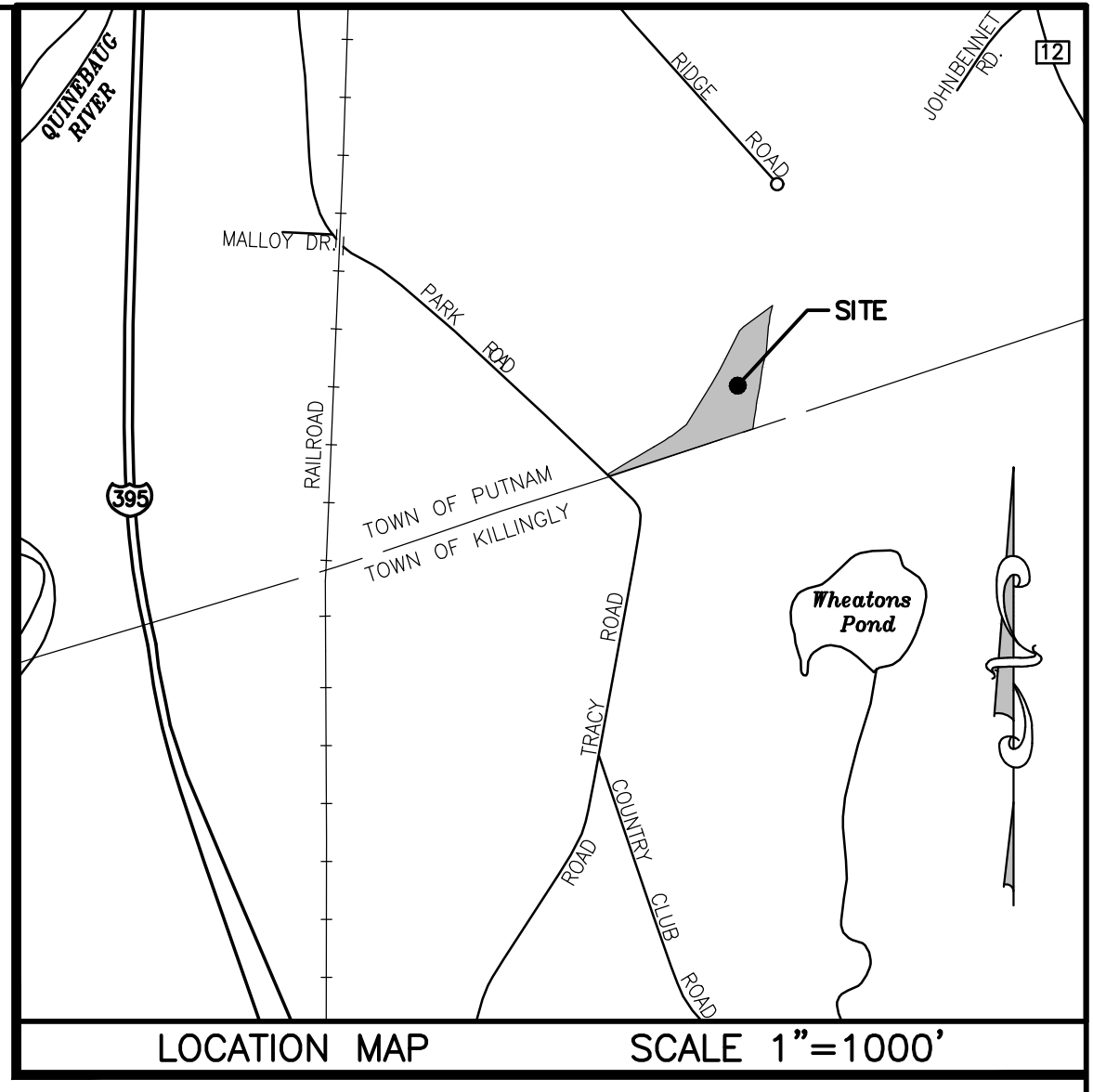
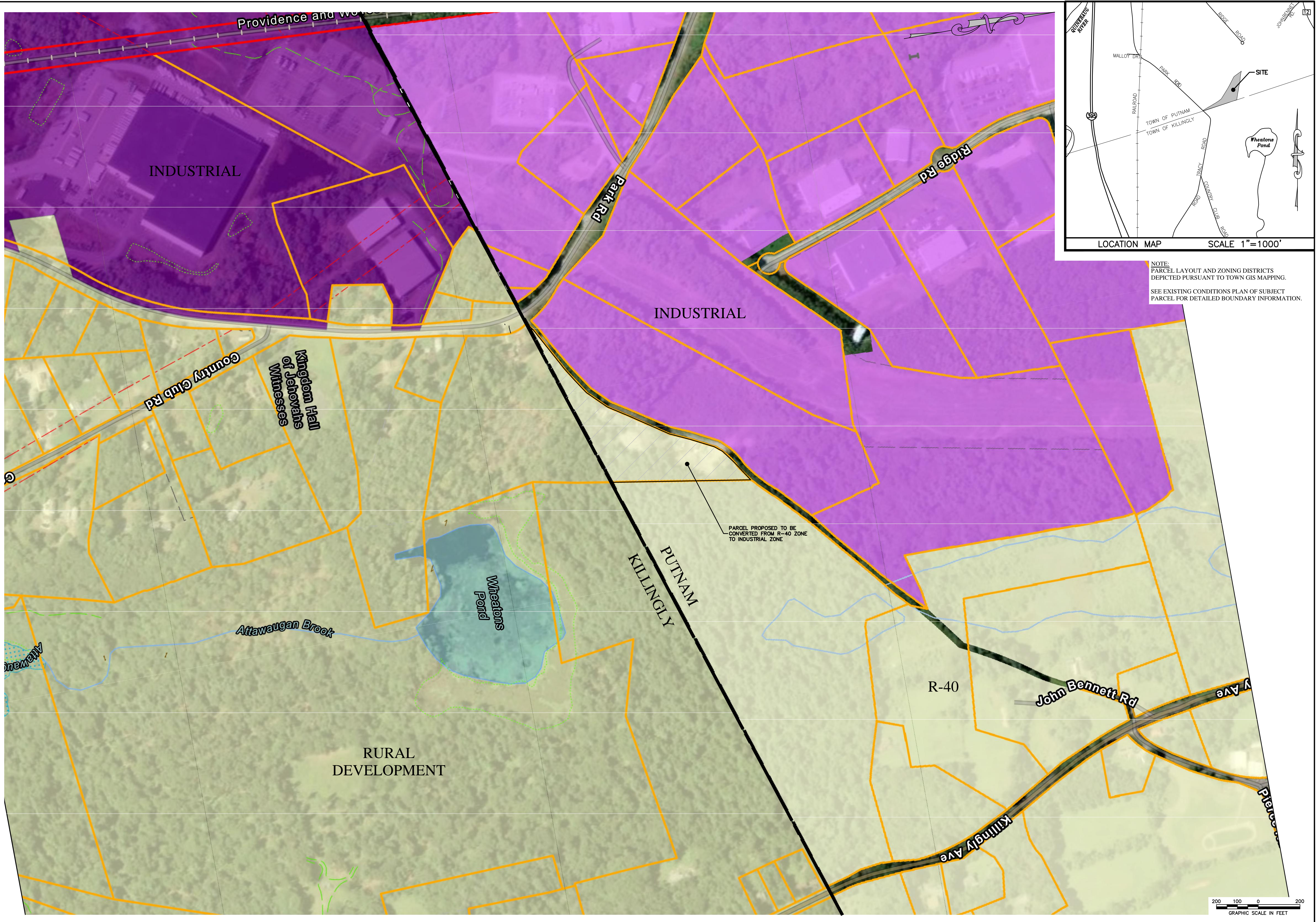
SUBMIT THIS APPLICATION NO LESS THAN 21 WORKING DAYS PRIOR TO MEETING DATE

I hereby certify that all the information provided is accurate and complete.

Don DiCostanzo 3-6-25
 Signature of Applicant Date

Date Accepted _____
 Date Rejected _____

 Signature of Chairperson Date



NOTE:
 PARCEL LAYOUT AND ZONING DISTRICTS
 DEPICTED PURSUANT TO TOWN GIS MAPPING.
 SEE EXISTING CONDITIONS PLAN OF SUBJECT
 PARCEL FOR DETAILED BOUNDARY INFORMATION.

SITE DEVELOPMENT PLAN
 PREPARED FOR
 112 OLD ROAD LLC
 112 OLD ROAD
 PUTNAM, CT

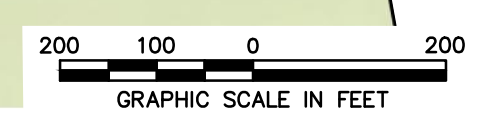
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE
 ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL
 ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND
 SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE
 STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING
 ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND
 SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE
 NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE
 DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION
 OF THE ALTERATION.

No.	Submittal / Revision	App'd.	By	Date

PROPOSED
 ZONE CHANGE

Designed By: PMP	Drawn By: PMP	Checked By:
Issue Date: 02/14/2025	Project No: 092428	Scale: 1" = 200'

FILE: V:\PROJECTS\ANY\K7\092428\000\09_DESIGN\DRAWINGS\01_SHEETS\092428_ZONE_CHANGE.DWG



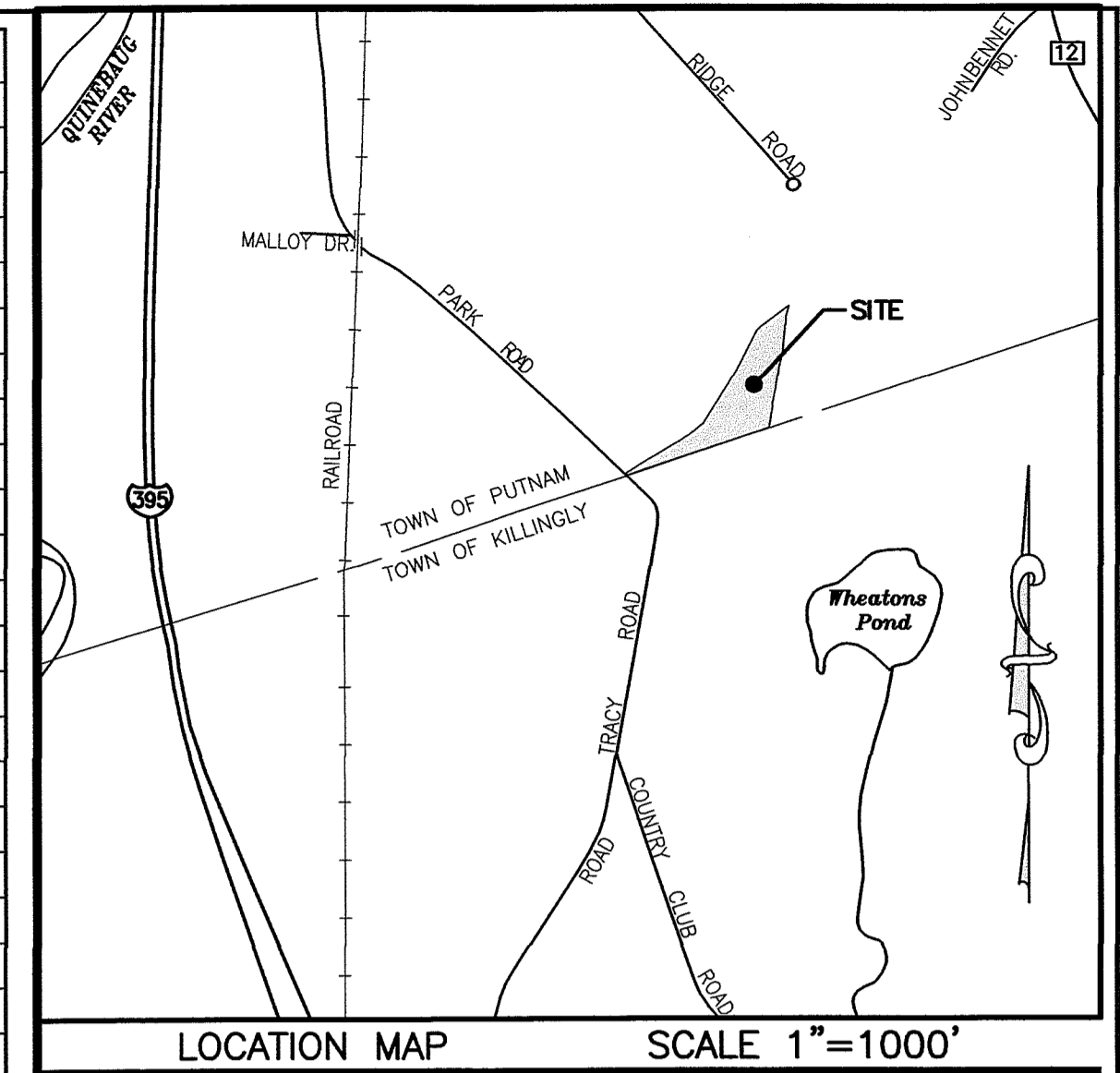
SITE DEVELOPMENT PLAN
 PREPARED FOR
 112 OLD ROAD LLC
 112 OLD ROAD
 PUTNAM, CT

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO REPRODUCE THIS DRAWING WITHOUT THE SIGNATURE AND SEAL OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE SIGNATURE AND SEAL OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR.

No.	Submitted / Revision	App'd	By	Date

Designed By:	Drawn By:	Checked By:
PMP	PMP	PMP
Issue Date:	Project No:	Scale:
02/14/2025	092428	1" = 60'

Drawing No.:
SHEET 1

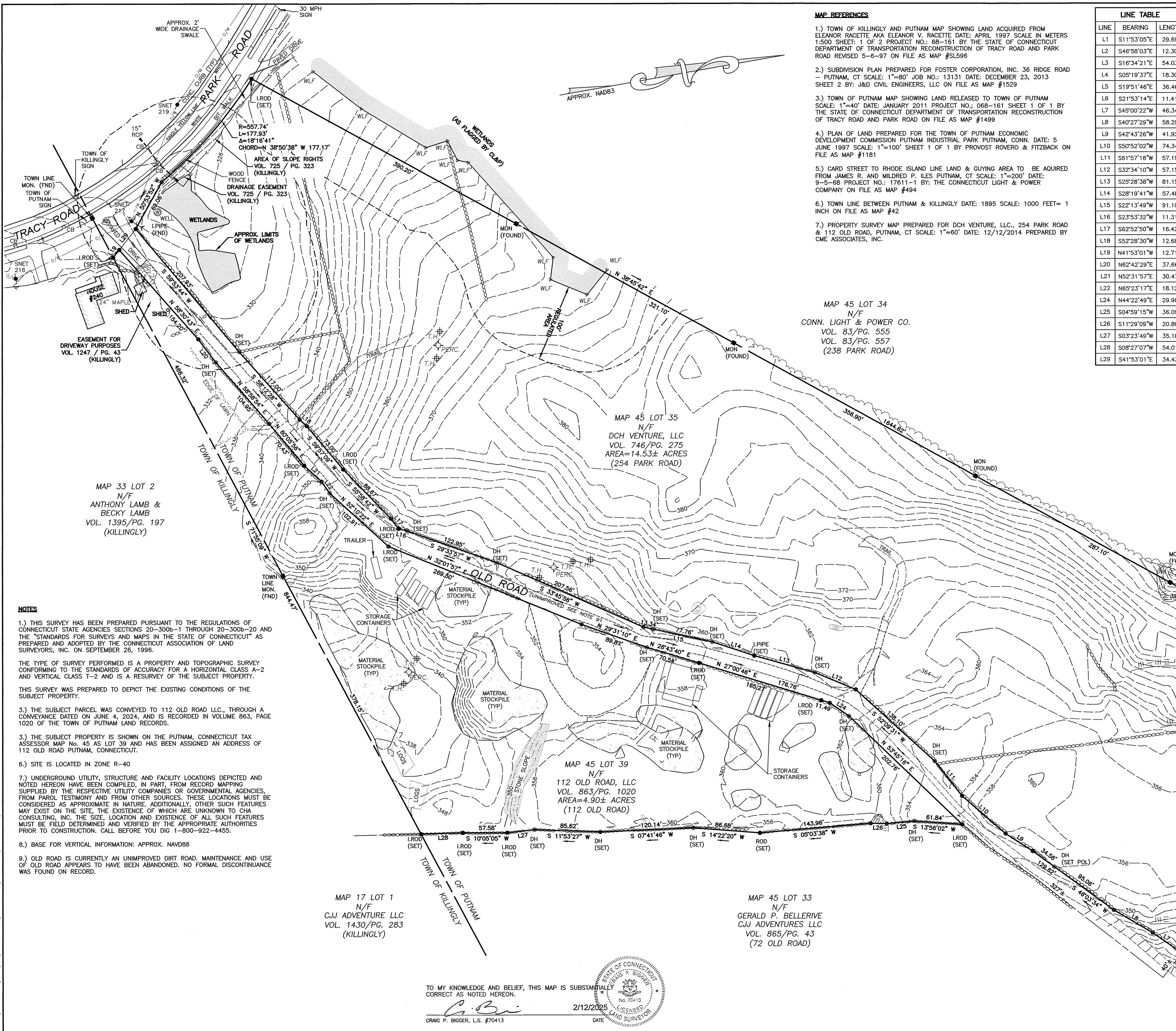


LINE	BEARING	LENGTH
L1	S11°53'05"E	29.69'
L2	S46°58'03"E	12.30'
L3	S16°34'21"E	54.03'
L4	S05°19'37"E	18.30'
L5	S19°51'46"E	36.46'
L6	S21°53'14"E	11.41'
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L8	S40°27'29"W	58.29'
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L10	S50°52'02"W	74.34'
L11	S61°57'18"W	57.19'
L12	S32°34'10"W	57.15'
L13	S25°28'38"W	81.15'
L14	S28°19'41"W	57.48'
L15	S22°13'49"W	91.10'
L16	S23°53'32"W	11.31'
L17	S62°52'50"W	16.42'
L20	N62°42'29"E	37.66'
L21	N52°31'57"E	30.47'
L22	N65°23'17"E	18.12'
L24	N44°22'49"E	29.90'
L25	S04°59'15"W	36.09'
L26	S11°29'09"W	20.80'
L27	S03°23'49"W	35.18'
L28	S08°27'07"W	54.01'
L29	S41°53'01"E	34.43'

LEGEND

- PROPERTY LINE
- ABUTTERS LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EXISTING CONTOURS
- STONE WALL
- STONEWALL REMAINS
- LIMITS OF INLAND WETLANDS
- FENCE
- TREE LINE
- OVERHEAD WIRES
- NOW OR FORMERLY
- UTILITY POLE
- BOUNDARY POINT
- DRILL HOLE
- IRON PIPE
- MONUMENT
- WATER VALVE
- FOUND

- MAP REFERENCES**
- TOWN OF KILLINGLY AND PUTNAM MAP SHOWING LAND ACQUIRED FROM ELEANOR RACETTE AKA RACETTE DATE: APRIL 1997 SCALE IN METERS 1:500 SHEET: 1 OF 2 PROJECT NO.: 68-161 BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF TRACY ROAD AND PARK ROAD REVISED 5-6-97 ON FILE AS MAP #SL596
 - SUBDIVISION PLAN PREPARED FOR FOSTER CORPORATION, INC. 36 RIDGE ROAD - PUTNAM, CT SCALE: 1"=80' JOB NO.: 13131 DATE: DECEMBER 23, 2013 SHEET 2 BY: J&D CIVIL ENGINEERS, LLC ON FILE AS MAP #1529
 - TOWN OF PUTNAM MAP SHOWING LAND RELEASED TO TOWN OF PUTNAM SCALE: 1"=40' DATE: JANUARY 2011 PROJECT NO.: 068-161 SHEET 1 OF 1 BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF TRACY ROAD AND PARK ROAD ON FILE AS MAP #1499
 - PLAN OF LAND PREPARED FOR THE TOWN OF PUTNAM ECONOMIC DEVELOPMENT COMMISSION PUTNAM INDUSTRIAL PARK PUTNAM, CONN. DATE: 5 JUNE 1997 SCALE: 1"=100' SHEET 1 OF 1 BY PROVOST ROVERO & FITZBACK ON FILE AS MAP #1181
 - CARD STREET TO RHODE ISLAND LINE LAND & GUYING AREA TO BE ACQUIRED FROM JAMES R. AND MILDRED P. ILES PUTNAM, CT SCALE: 1"=200' DATE: 9-5-68 PROJECT NO.: 17611-1 BY: THE CONNECTICUT LIGHT & POWER COMPANY ON FILE AS MAP #494
 - TOWN LINE BETWEEN PUTNAM & KILLINGLY DATE: 1895 SCALE: 1000 FEET= 1 INCH ON FILE AS MAP #42
 - PROPERTY SURVEY MAP PREPARED FOR DCH VENTURE, LLC., 254 PARK ROAD & 112 OLD ROAD, PUTNAM, CT SCALE: 1"=60' DATE: 12/12/2014 PREPARED BY CME ASSOCIATES, INC.



- NOTES**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THE TYPE OF SURVEY PERFORMED IS A PROPERTY AND TOPOGRAPHIC SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 AND VERTICAL CLASS T-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY.
 - THIS SURVEY WAS PREPARED TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PROPERTY.
 - THE SUBJECT PARCEL WAS CONVEYED TO 112 OLD ROAD LLC, THROUGH A CONVEYANCE DATED ON JUNE 4, 2024, AND IS RECORDED IN VOLUME 863, PAGE 1020 OF THE TOWN OF PUTNAM LAND RECORDS.
 - THE SUBJECT PROPERTY IS SHOWN ON THE PUTNAM, CONNECTICUT TAX ASSESSOR MAP No. 45 AS LOT 39 AND HAS BEEN ASSIGNED AN ADDRESS OF 112 OLD ROAD PUTNAM, CONNECTICUT.
 - SITE IS LOCATED IN ZONE R-40
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA CONSULTING, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - BASE FOR VERTICAL INFORMATION: APPROX. NAVD83
 - OLD ROAD IS CURRENTLY AN UNIMPROVED DIRT ROAD. MAINTENANCE AND USE OF OLD ROAD APPEARS TO HAVE BEEN ABANDONED. NO FORMAL DISCONTINUANCE WAS FOUND ON RECORD.

MAP 33 LOT 2
 N/F
 ANTHONY LAMB &
 BECKY LAMB
 VOL. 1395/PG. 197
 (KILLINGLY)

MAP 45 LOT 34
 N/F
 CONN. LIGHT & POWER CO.
 VOL. 83/PG. 555
 VOL. 83/PG. 557
 (238 PARK ROAD)

MAP 45 LOT 35
 N/F
 DCH VENTURE, LLC
 VOL. 746/PG. 275
 AREA=14.53± ACRES
 (254 PARK ROAD)

MAP 45 LOT 39
 N/F
 112 OLD ROAD, LLC
 VOL. 863/PG. 1020
 AREA=4.90± ACRES
 (112 OLD ROAD)

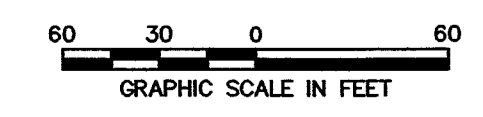
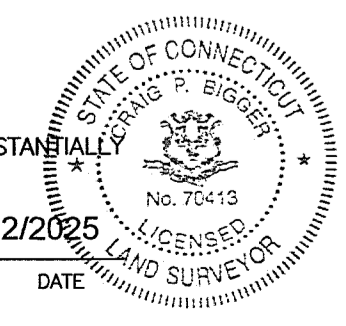
MAP 17 LOT 1
 N/F
 CJJ ADVENTURE LLC
 VOL. 1430/PG. 283
 (KILLINGLY)

MAP 45 LOT 33
 N/F
 GERALD P. BELLERIVE
 CJJ ADVENTURES LLC
 VOL. 865/PG. 43
 (72 OLD ROAD)

MAP 45 LOT 44
 N/F
 TOWN OF PUTNAM
 VOL. 203/PG. 52
 (50 RIDGE ROAD)

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

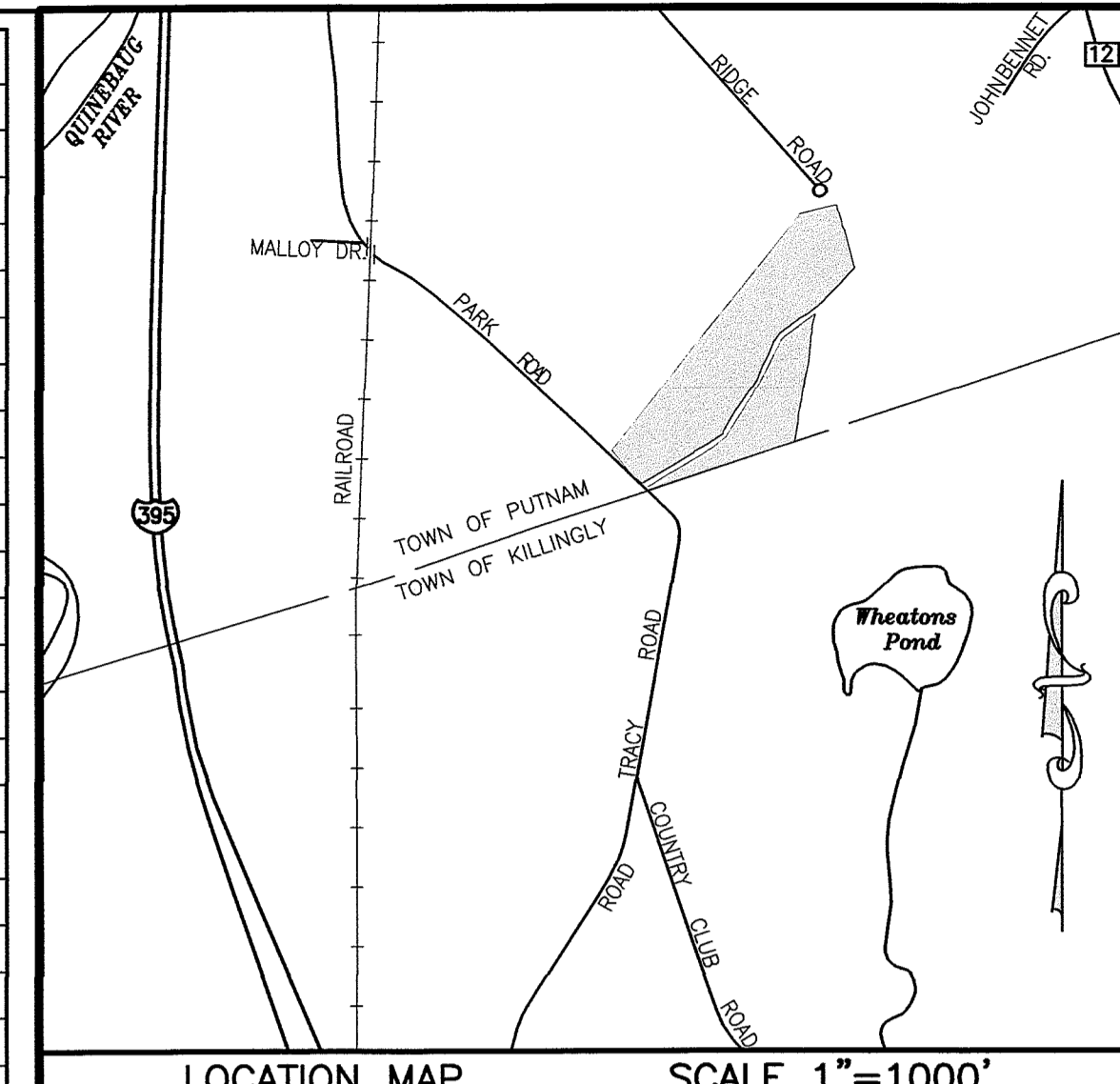
C. P. Bigger
 CRAIG P. BIGGER, L.S. #70413
 2/12/2025
 DATE



File: V:\PROJECTS\NY\K7\092428\000_09_DESIGN\DRAWINGS\01_SHEETS\092428_TPO.DWG

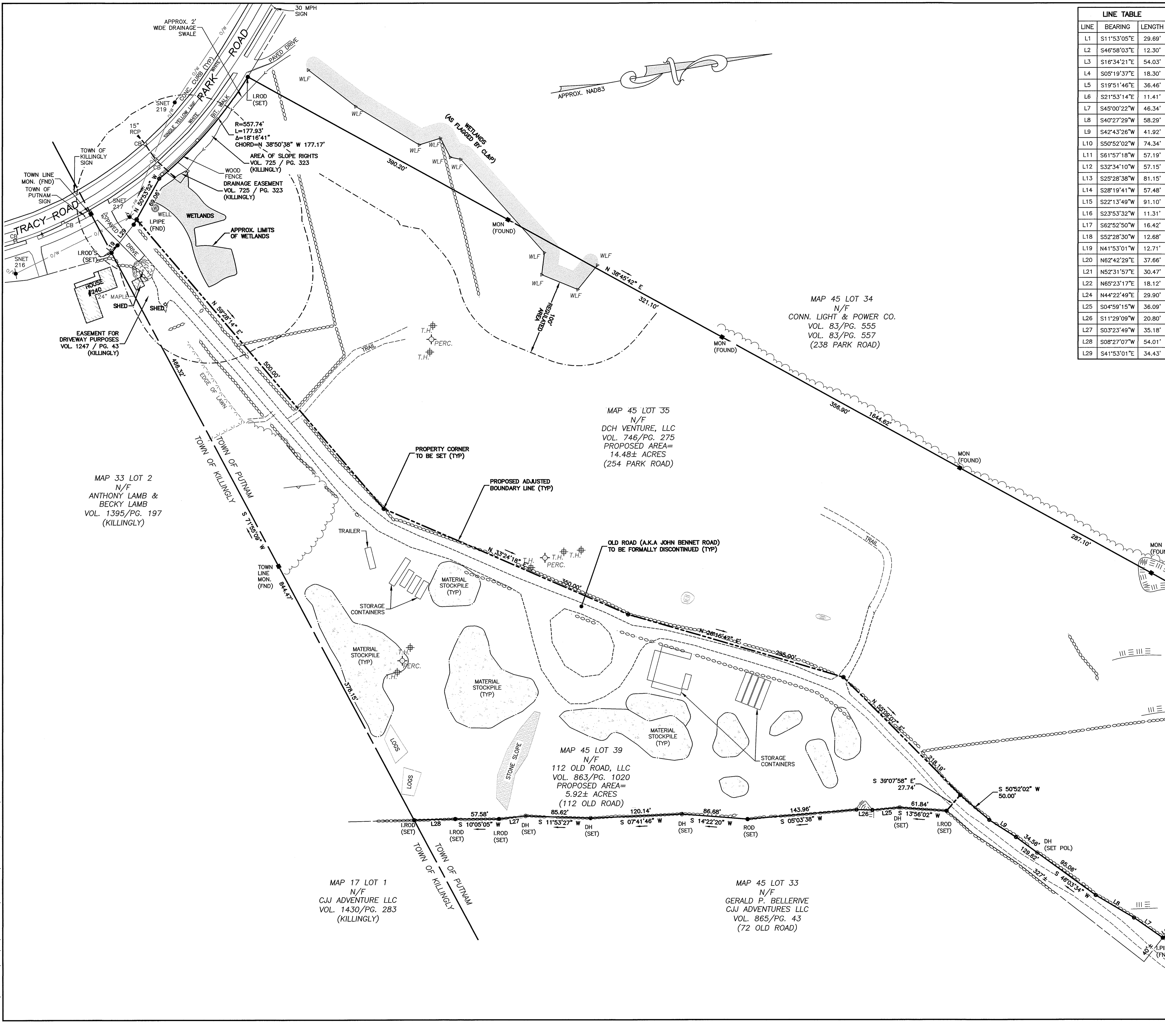
SITE DEVELOPMENT PLAN
 PREPARED FOR
112 OLD ROAD LLC
 112 OLD ROAD
 PUTNAM, CT

LINE TABLE		
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LEGEND

PROPERTY LINE: Solid line with dashes
 ABUTTERS LINE: Dashed line
 EDGE OF PAVEMENT: Dashed line with dots
 EDGE OF GRAVEL: Dashed line with dots
 EXISTING CONTOURS: Dotted line with elevations (e.g., 360)
 STONE WALL: Line with small circles
 STONEWALL REMAINS: Dotted line with small circles
 LIMITS OF INLAND WETLANDS: WLF symbol
 FENCE: Line with short perpendicular dashes
 TREE LINE: Line with small 'T' symbols
 OVERHEAD WIRES: Line with 'O/W'
 NOW OR FORMERLY: N/F symbol
 UTILITY POLE: Circle with crosshairs
 BOUNDARY POINT: Circle with center dot
 DRILL HOLE: DH symbol
 IRON PIPE: Circle with center dot
 MONUMENT: Square with center dot
 WATER VALVE: Square with 'X'
 FOUND: FND symbol



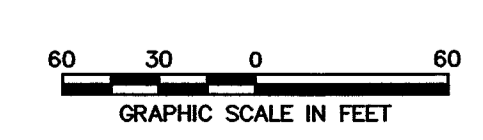
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No.	Submittal / Revision	App'd.	By	Date

No.	Submittal / Revision	App'd.	By	Date

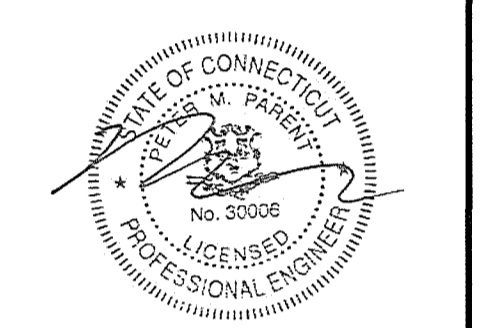
DISCONTINUANCE OF "OLD ROAD" & PROPOSED LOT LINE ADJUSTMENTS

Designed By: PMP | Drawn By: PMP | Checked By: PMP
 Issue Date: 02/14/2025 | Project No: 092428 | Scale: 1" = 60'
 Drawing No.:



File: V:\PROJECTS\NY\17_092428\000_09_DESIGN\DRAWINGS\01_SHEETS\092428_TPC.DWG

SITE DEVELOPMENT PLAN
 PREPARED FOR
 112 OLD ROAD LLC
 112 OLD ROAD
 PUTNAM, CT



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No.	Submital / Revision	App'd.	By	Date

SITE LAYOUT PLAN

Designed By: PMP Drawn By: PMP Checked By: PMP
 Issue Date: 02/14/2025 Project No: 092428 Scale: 1" = 50'

Drawing No.:
SHEET 3

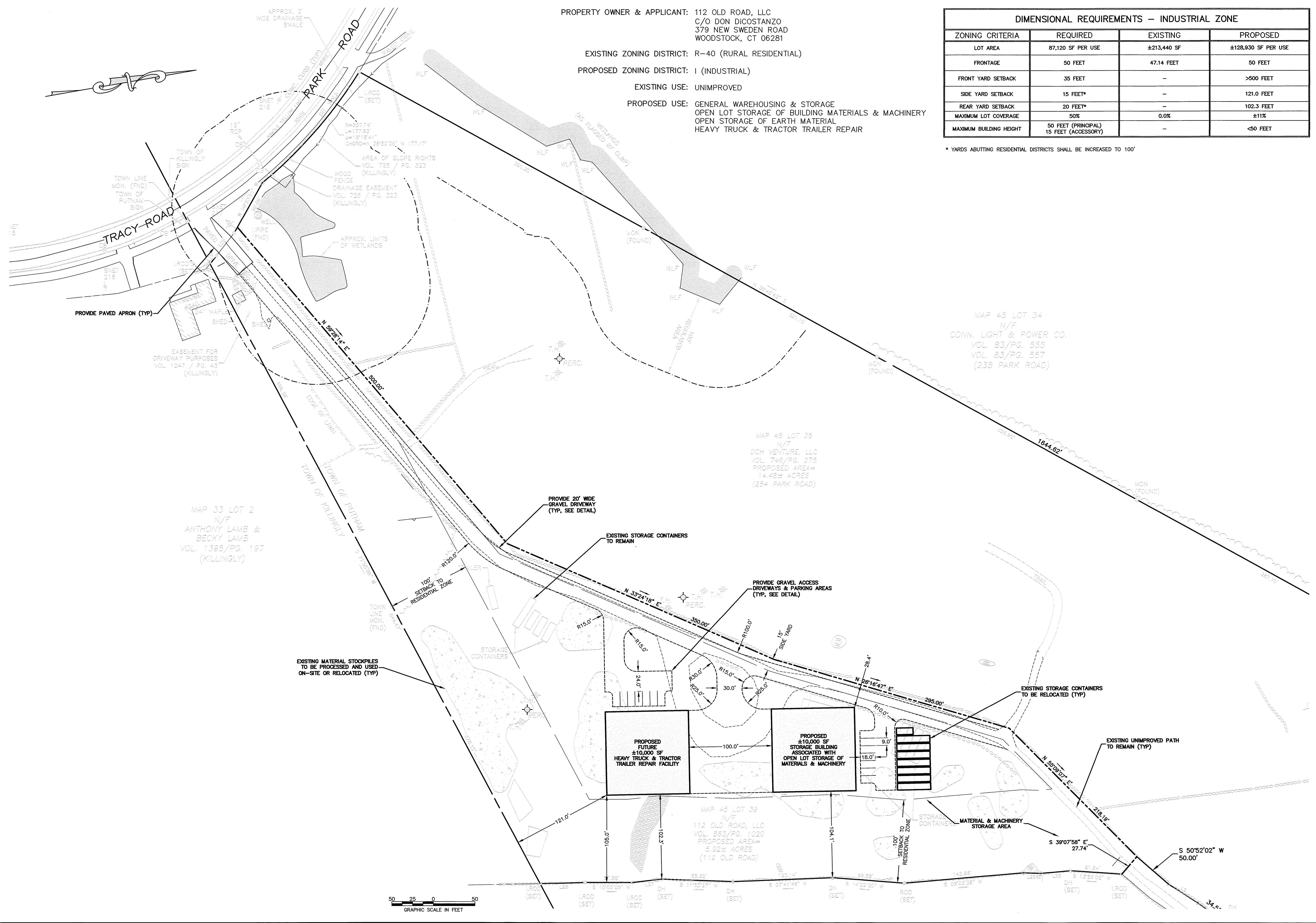
DIMENSIONAL REQUIREMENTS – INDUSTRIAL ZONE			
ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
LOT AREA	87,120 SF PER USE	±213,440 SF	±128,930 SF PER USE
FRONTAGE	50 FEET	47.14 FEET	50 FEET
FRONT YARD SETBACK	35 FEET	–	>500 FEET
SIDE YARD SETBACK	15 FEET*	–	121.0 FEET
REAR YARD SETBACK	20 FEET*	–	102.3 FEET
MAXIMUM LOT COVERAGE	50%	0.0%	±11%
MAXIMUM BUILDING HEIGHT	50 FEET (PRINCIPAL) 15 FEET (ACCESSORY)	–	<50 FEET

* YARDS ABUTTING RESIDENTIAL DISTRICTS SHALL BE INCREASED TO 100'

PROPERTY OWNER & APPLICANT: 112 OLD ROAD, LLC
 C/O DON DICOSTANZO
 379 NEW SWEDEN ROAD
 WOODSTOCK, CT 06281

EXISTING ZONING DISTRICT: R-40 (RURAL RESIDENTIAL)
 PROPOSED ZONING DISTRICT: I (INDUSTRIAL)

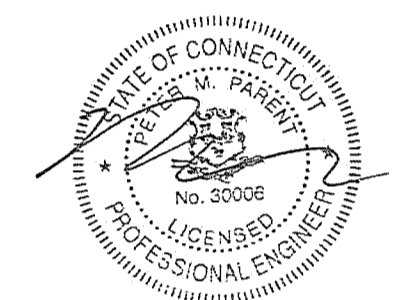
EXISTING USE: UNIMPROVED
 PROPOSED USE: GENERAL WAREHOUSING & STORAGE
 OPEN LOT STORAGE OF BUILDING MATERIALS & MACHINERY
 HEAVY TRUCK & TRACTOR TRAILER REPAIR



File: V:\PROJECTS\ANY\092428\000\09_DESIGN\DRAWINGS\01_SHEETS\092428_51P.DWG

SITE DEVELOPMENT PLAN
PREPARED FOR

112 OLD ROAD LLC
112 OLD ROAD
PUTNAM, CT



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No. Submittal / Revision App'd. By Date

No.	Submittal / Revision	App'd. By	Date

SITE
GRADING & DRAINAGE
PLAN

Designed By: PMP

Issue Date: 02/14/2025

Drawn By: PMP

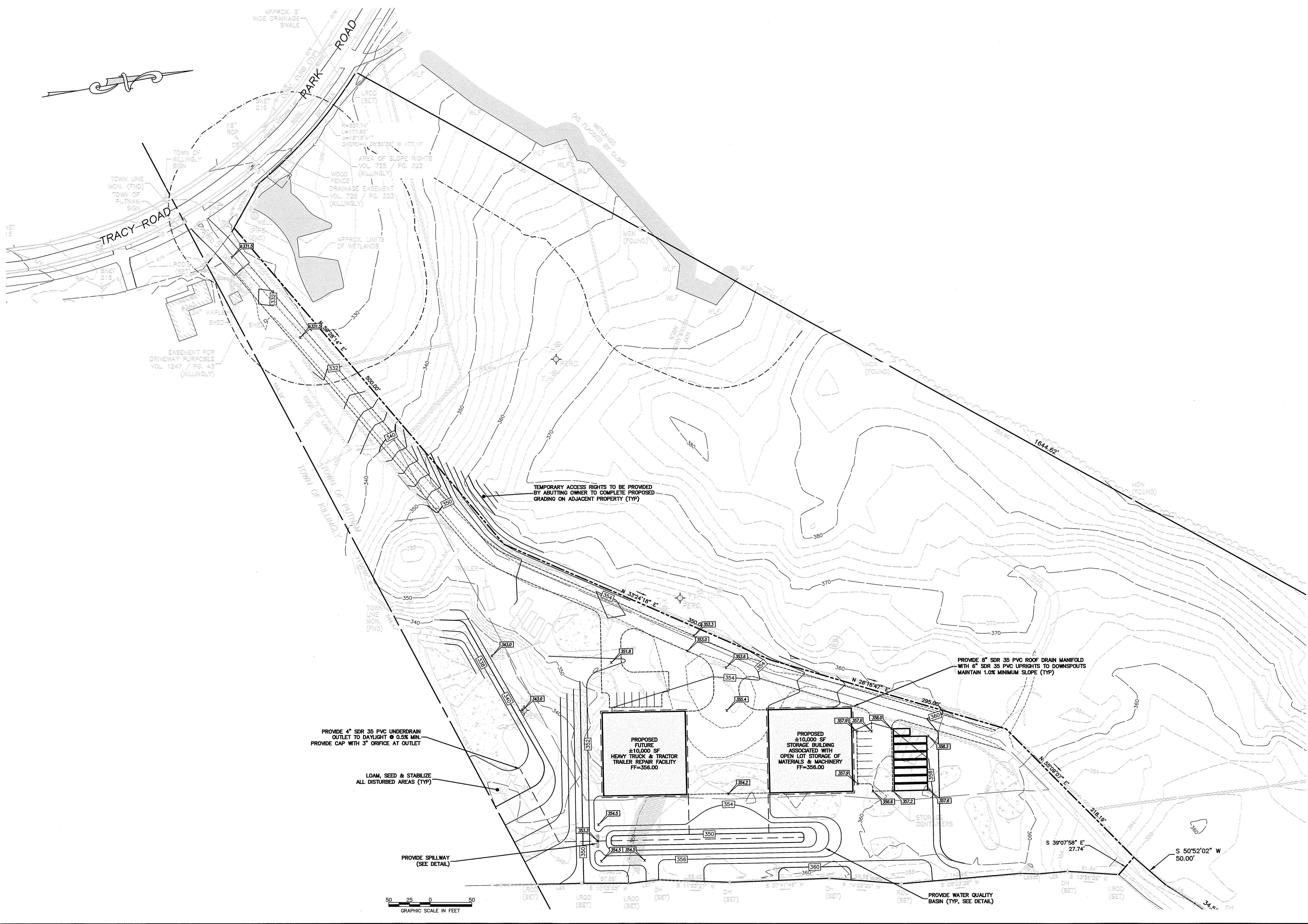
Project No: 092428

Checked By: PMP

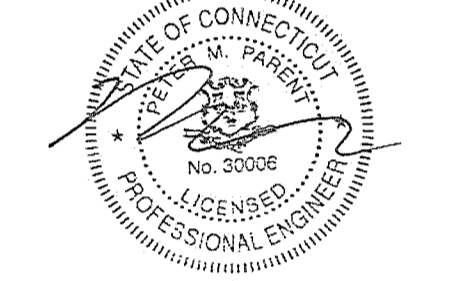
Scale: 1" = 50'

Drawing No.:

SHEET 4



File: V:\PROJECTS\ANY7\092428\000\09_09_24\DESIGN\DRAWINGS\01_SHEETS\092428_SIT.DWG



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No.	Submitted / Revision	App'd.	By	Date

SITE LANDSCAPE PLAN

Designed By: PMP	Drawn By: PMP	Checked By:
Issue Date: 02/14/2025	Project No: 092428	Scale: 1" = 50'

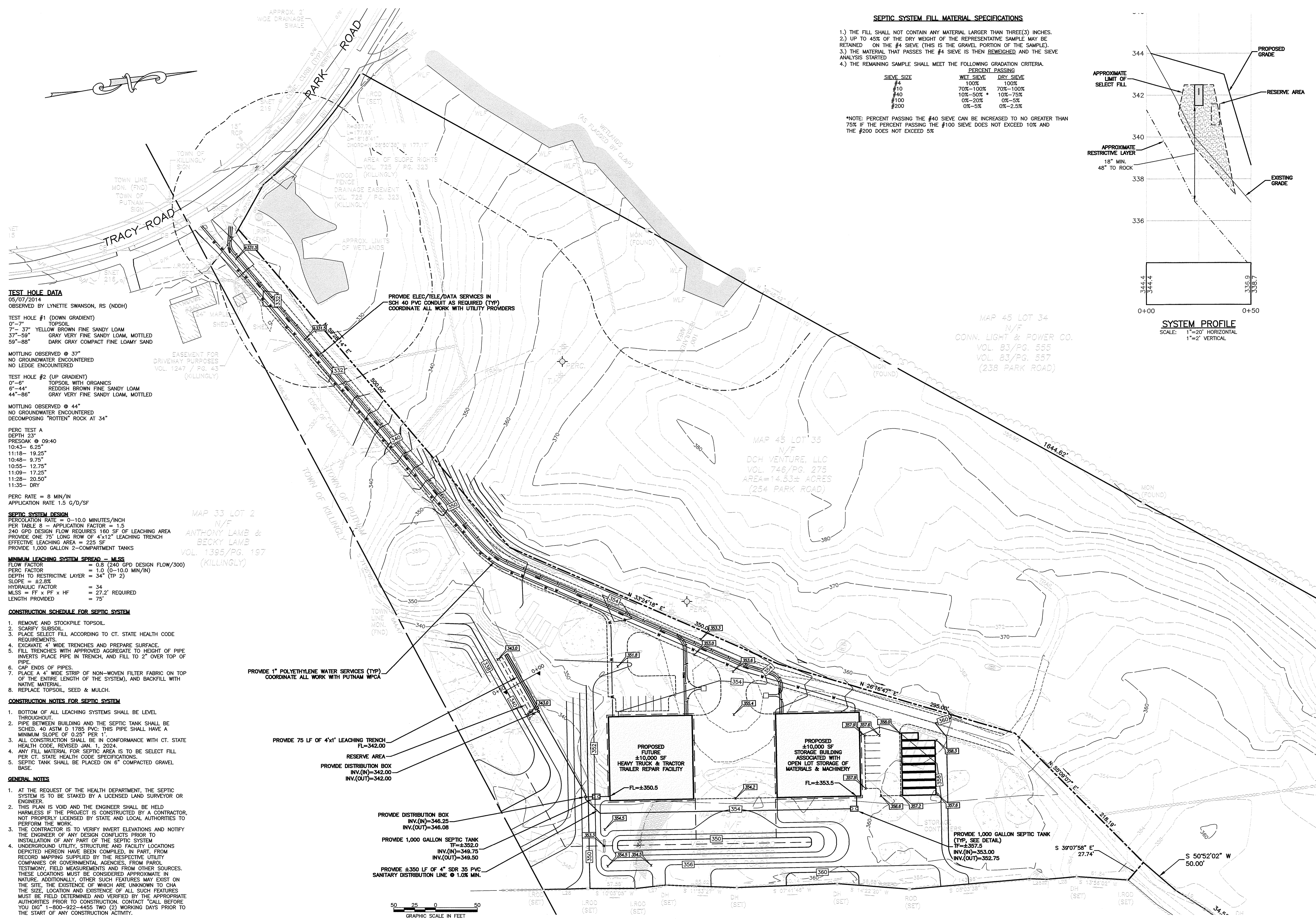
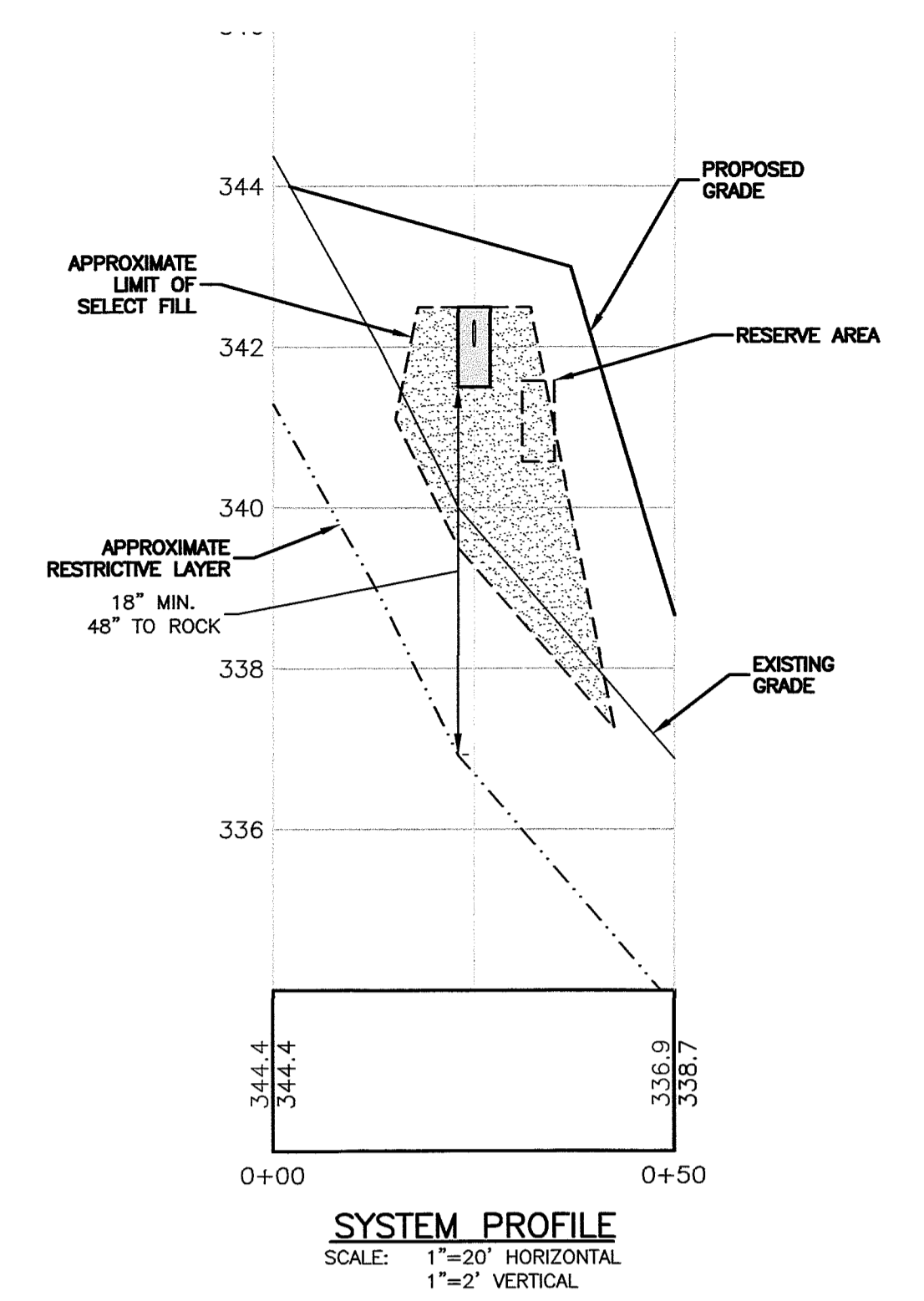
Drawing No.:
SHEET 5

SEPTIC SYSTEM FILL MATERIAL SPECIFICATIONS

- THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE(3) INCHES.
- UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
- THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
- THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA.

SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100%	100%
#10	70%-100%	70%-100%
#40	10%-50% *	10%-75%
#100	0%-20%	0%-5%
#200	0%-5%	0%-2.5%

*NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 DOES NOT EXCEED 5%



TEST HOLE DATA
 05/07/2014
 OBSERVED BY LYNETTE SWANSON, RS (NDH)

TEST HOLE #1 (DOWN GRADIENT)
 0'-7" TOPSOIL
 7'-37" YELLOW BROWN FINE SANDY LOAM
 37'-59" GRAY VERY FINE SANDY LOAM, MOTTLED
 59'-88" DARK GRAY COMPACT FINE LOAMY SAND

MOTTLING OBSERVED @ 37"
 NO GROUNDWATER ENCOUNTERED
 NO LEDGE ENCOUNTERED

TEST HOLE #2 (UP GRADIENT)
 0'-6" TOPSOIL WITH ORGANICS
 6'-44" REDDISH BROWN FINE SANDY LOAM
 44'-86" GRAY VERY FINE SANDY LOAM, MOTTLED

MOTTLING OBSERVED @ 44"
 NO GROUNDWATER ENCOUNTERED
 DECOMPOSING "ROTTEN" ROCK AT 34"

PERC TEST A
 DEPTH 23"
 PRESSURE @ 09:40
 10:43 - 6.25"
 11:18 - 10.25"
 10:48 - 9.75"
 10:55 - 12.75"
 11:09 - 17.25"
 11:28 - 20.50"
 11:35 - DRY

PERC RATE = 8 MIN/IN
 APPLICATION RATE 1.5 G/D/SF

SEPTIC SYSTEM DESIGN
 PERCOLATION RATE = 0-10.0 MINUTES/INCH
 PER TABLE 8 - APPLICATION FACTOR = 1.5
 240 GPD DESIGN FLOW REQUIRES 160 SF OF LEACHING AREA
 PROVIDE ONE 75' LONG ROW OF 4"x12" LEACHING TRENCH
 EFFECTIVE LEACHING AREA = 225 SF
 PROVIDE 1,000 GALLON 2-COMPARTMENT TANKS

MINIMUM LEACHING SYSTEM SPREAD - MLSS
 FLOW FACTOR = 0.8 (240 GPD DESIGN FLOW/300)
 PERC FACTOR = 1.0 (0-10.0 MIN/IN)
 DEPTH TO RESTRICTIVE LAYER = 34" (TP 2)
 SLOPE = ±2.8%
 HYDRAULIC FACTOR = 34
 MLSS = FF x PF x HF = 27.2' REQUIRED
 LENGTH PROVIDED = 75'

CONSTRUCTION SCHEDULE FOR SEPTIC SYSTEM

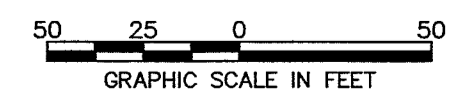
- REMOVE AND STOCKPILE TOPSOIL.
- SCARIFY SUBSOIL.
- PLACE SELECT FILL ACCORDING TO CT. STATE HEALTH CODE REQUIREMENTS.
- EXCAVATE 4" WIDE TRENCHES AND PREPARE SURFACE.
- FILL TRENCHES WITH APPROVED AGGREGATE TO HEIGHT OF PIPE INVERTS PLACE PIPE IN TRENCH, AND FILL TO 2" OVER TOP OF PIPE.
- CAP ENDS OF PIPES.
- PLACE A 4" WIDE STRIP OF NON-WOVEN FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.
- REPLACE TOPSOIL, SEED & MULCH.

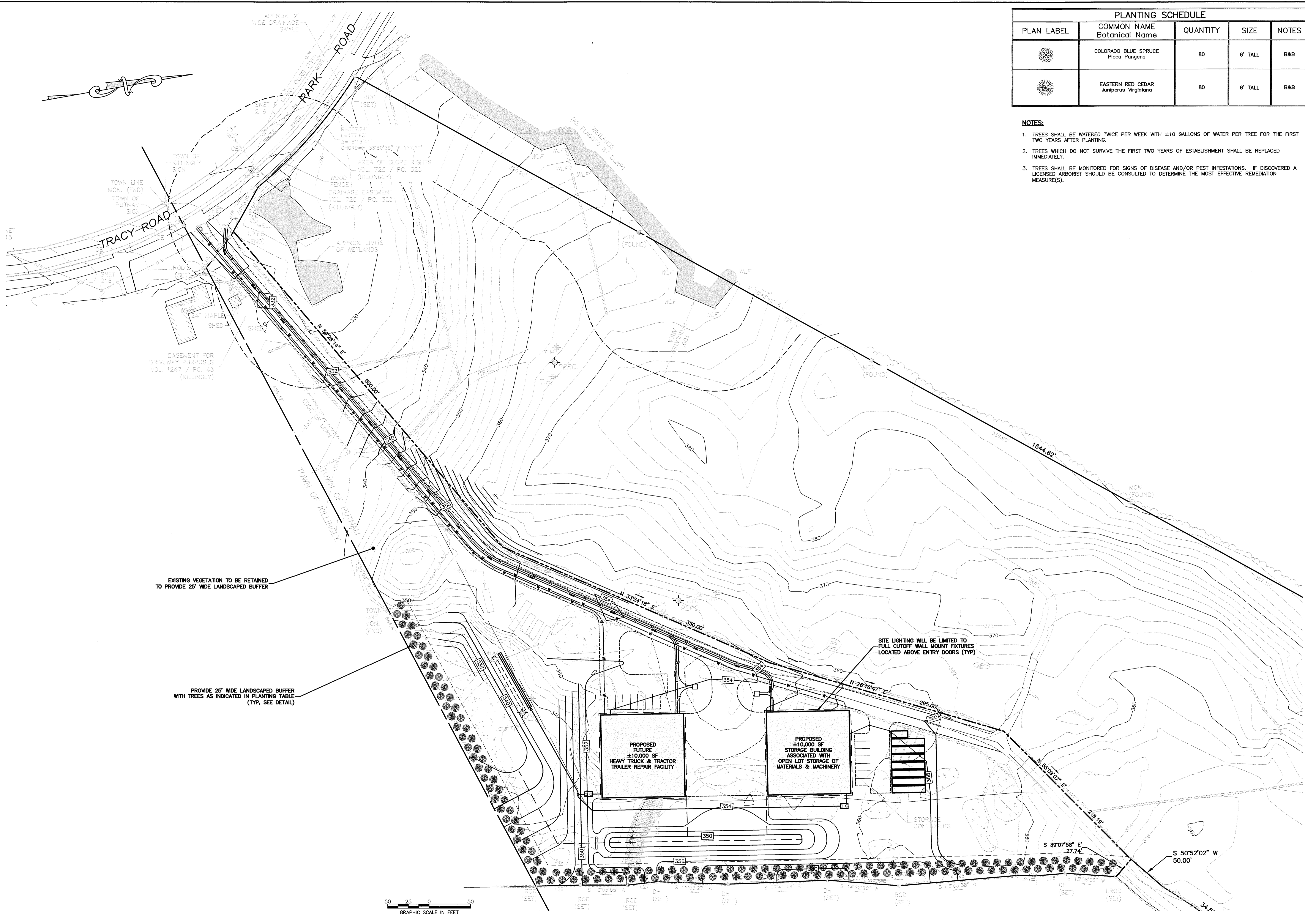
CONSTRUCTION NOTES FOR SEPTIC SYSTEM

- BOTTOM OF ALL LEACHING SYSTEMS SHALL BE LEVEL THROUGHOUT.
- PIPE BETWEEN BUILDING AND THE SEPTIC TANK SHALL BE SCHED. 40 ASTM D 1783 PVC. THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE, REVISED JAN. 1, 2022.
- ANY FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS.
- SEPTIC TANK SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

GENERAL NOTES

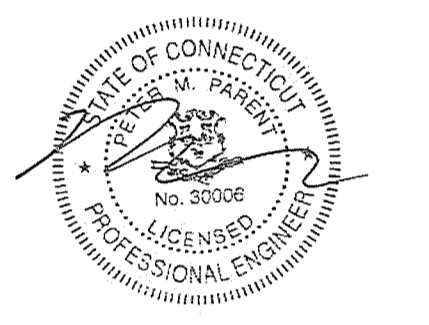
- AT THE REQUEST OF THE HEALTH DEPARTMENT, THE SEPTIC SYSTEM IS TO BE STAKED BY A LICENSED LAND SURVEYOR OR ENGINEER.
- THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.
- THE CONTRACTOR IS TO VERIFY INVERT ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DESIGN CONFLICTS PRIOR TO INSTALLATION OF ANY PART OF THE SEPTIC SYSTEM.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.





PLANTING SCHEDULE				
PLAN LABEL	COMMON NAME Botanical Name	QUANTITY	SIZE	NOTES
	COLORADO BLUE SPRUCE <i>Picea pungens</i>	80	6' TALL	B&B
	EASTERN RED CEDAR <i>Juniperus Virginiana</i>	80	6' TALL	B&B

- NOTES:**
- TREES SHALL BE WATERED TWICE PER WEEK WITH ±10 GALLONS OF WATER PER TREE FOR THE FIRST TWO YEARS AFTER PLANTING.
 - TREES WHICH DO NOT SURVIVE THE FIRST TWO YEARS OF ESTABLISHMENT SHALL BE REPLACED IMMEDIATELY.
 - TREES SHALL BE MONITORED FOR SIGNS OF DISEASE AND/OR PEST INFESTATIONS. IF DISCOVERED A LICENSED ARBORIST SHOULD BE CONSULTED TO DETERMINE THE MOST EFFECTIVE REMEDIATION MEASURE(S).



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY MANNER WHICH BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL BE SUBJECT TO THE PENALTIES AND PROSECUTIONS PROVIDED BY THE STATE OF CONNECTICUT. THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

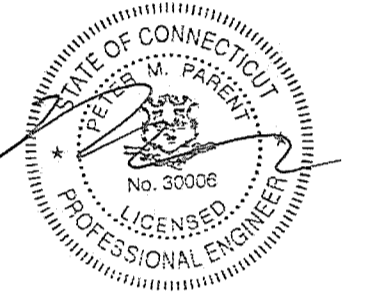
No.	Submitted / Revision	App'd. By	By	Date
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SITE LANDSCAPE PLAN

Designed By: PMP	Drawn By: PMP	Checked By:
Issue Date: 02/14/2025	Project No: 092428	Scale: 1" = 50'

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SITE DEVELOPMENT PLAN
 PREPARED FOR
 112 OLD ROAD LLC
 112 OLD ROAD
 PUTNAM, CT



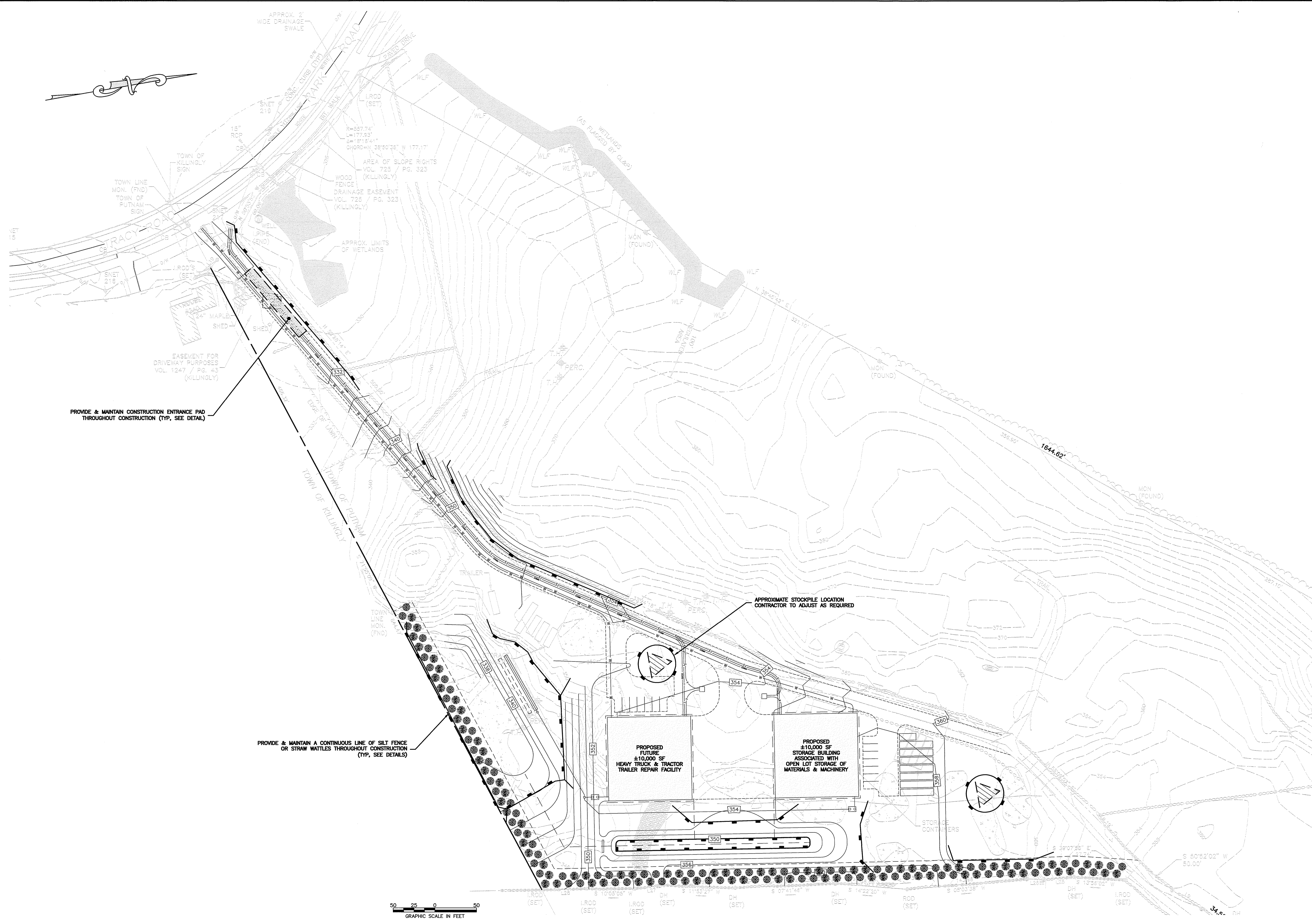
IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER OR REPRODUCE IN ANY MANNER THE STAMP OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR. ANY SUCH ALTERATION OR REPRODUCTION SHALL BE VOID AND INVALID. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Submital / Revision	App'd.	By	Date

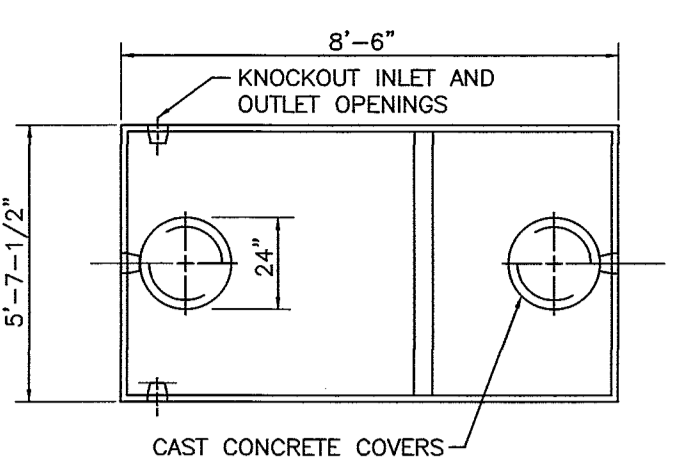
E&S CONTROL PLAN

Designed By: PMP
 Drawn By: PMP
 Issue Date: 02/14/2025
 Project No: 092428
 Scale: 1" = 50'

Drawing No.:
SHEET 7

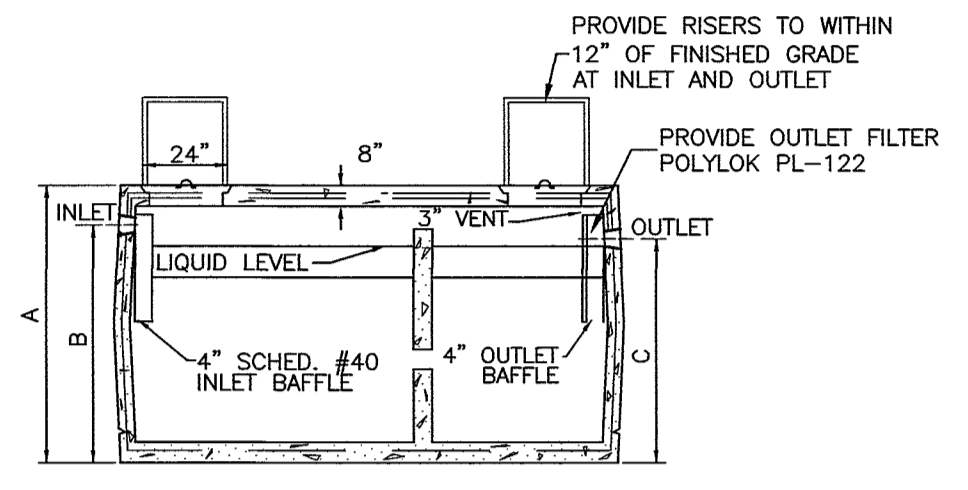


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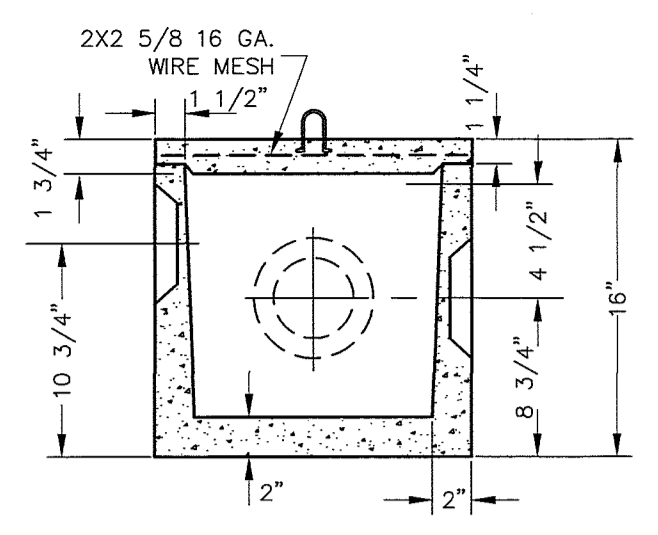


PLAN

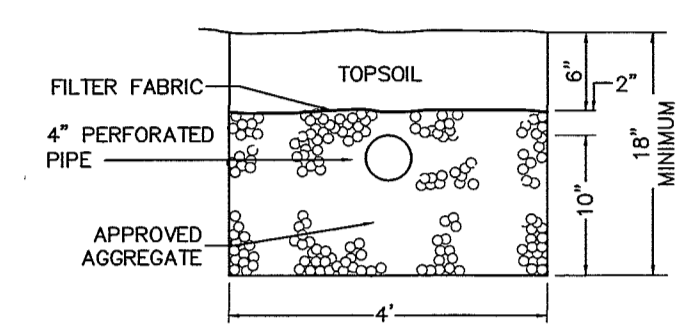
CAPACITIES	A	B	C
1000 GAL	74"	57"	54"



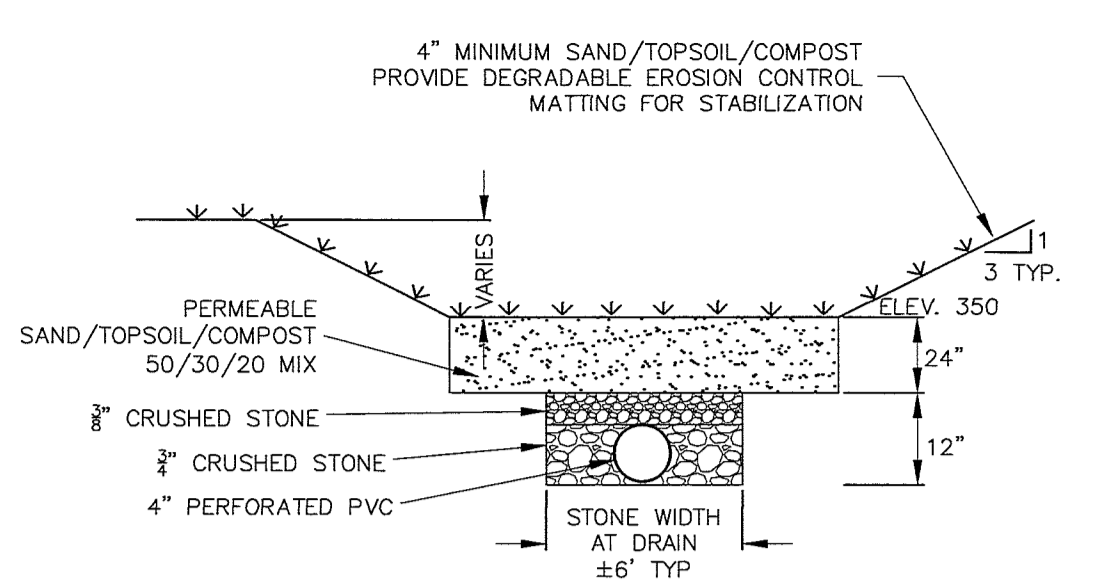
CROSS SECTION
1000 GALLON
2 COMPARTMENT H-20 SEPTIC TANK
 NOT TO SCALE



STANDARD D-BOX
 NOT TO SCALE

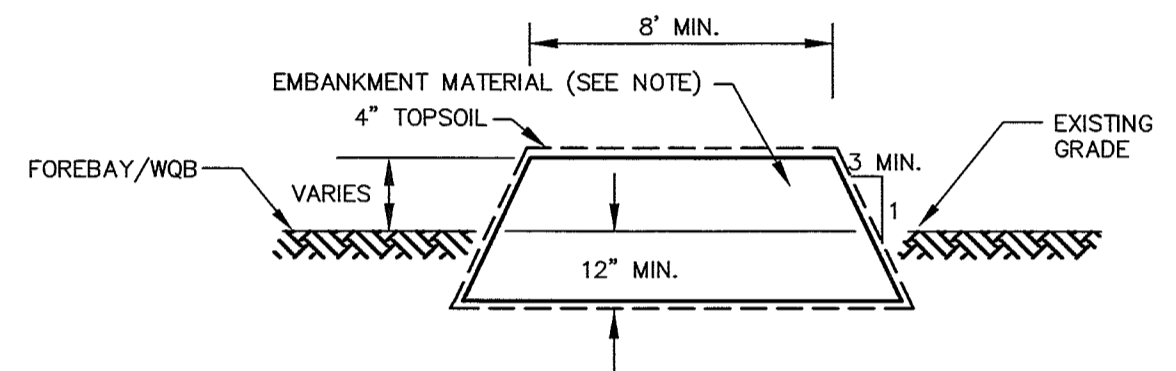


SEPTIC LEACHING TRENCH
 NOT TO SCALE



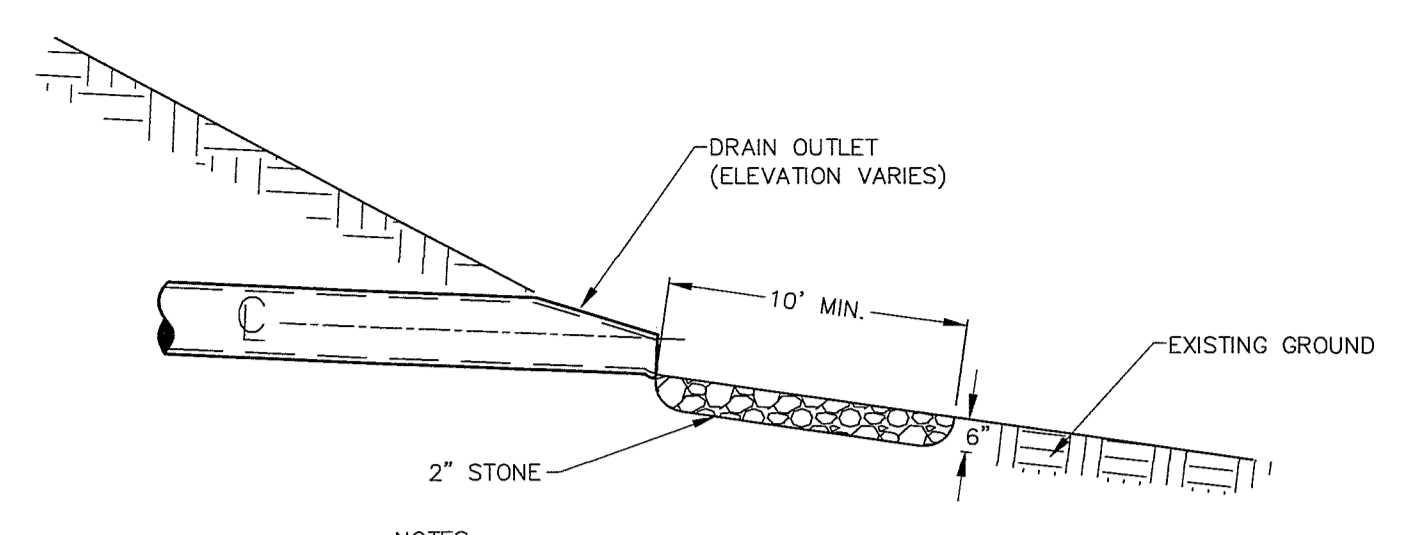
- NOTES:**
- 1.) SAND/TOPSOIL/COMPOST MIXTURE SHALL BE PLACED OVER THE ENTIRE WATER QUALITY BASIN FLOOR.
 - 2.) SAND/TOPSOIL/COMPOST MIXTURE SHALL NOT BE COMPACTED AND THE ENTIRE WATER QUALITY BASIN SHALL BE PROTECTED FROM HEAVY EQUIPMENT TRAFFIC THROUGHOUT CONSTRUCTION.
 - 2.) THE CONTRACTOR SHALL BE LIABLE FOR THE REPLACEMENT OF THE SAND/TOPSOIL/COMPOST MIXTURE IF E&S CONTROLS ARE NOT INSTALLED & MAINTAINED AS INDICATED.

WATER QUALITY BASIN
 NOT TO SCALE



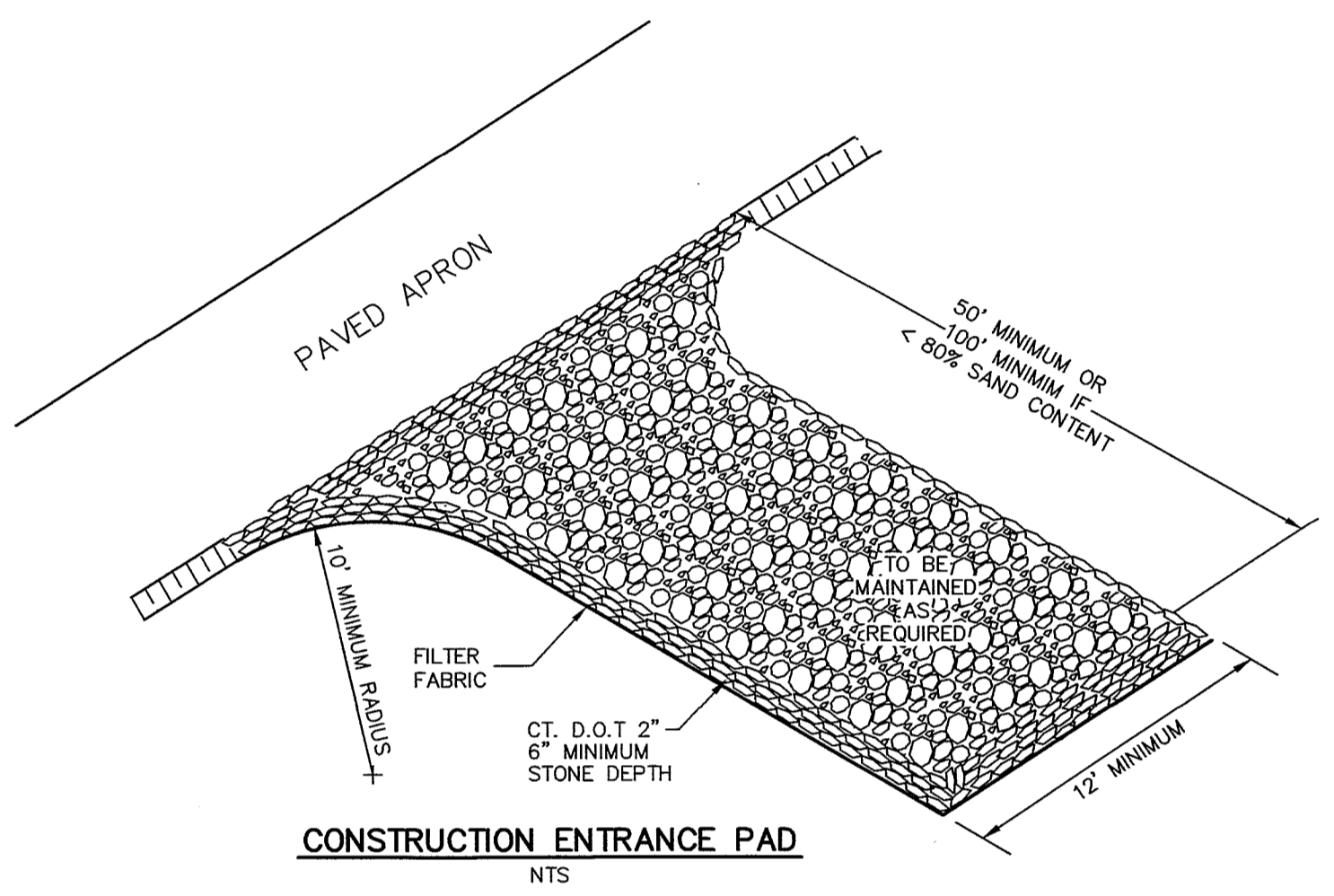
- NOTE:** EMBANKMENT MATERIAL SHALL CONTAIN AT LEAST 15% PASSING THE #200 SIEVE AND NOT MORE THAN 50% PASSING THE #20 SIEVE. NO STONES LARGER THAN 6 INCHES SHALL BE ALLOWED WITHIN THE COMPACTED EMBANKMENT. WITHIN TWO FEET OF ANY STRUCTURE, THE MAXIMUM SIZE SHALL BE 3 INCHES. CONSTRUCTION SHALL NOT TAKE PLACE DURING COLD PERIODS WHERE TEMPERATURES ARE CONSISTENTLY LOWER THAN 40 DEGREES FAHRENHEIT. EMBANKMENT MATERIAL TO BE COMPACTED IN LIFTS TO 95% MAXIMUM DRY DENSITY.

EARTH BERM DETAIL
 NTS

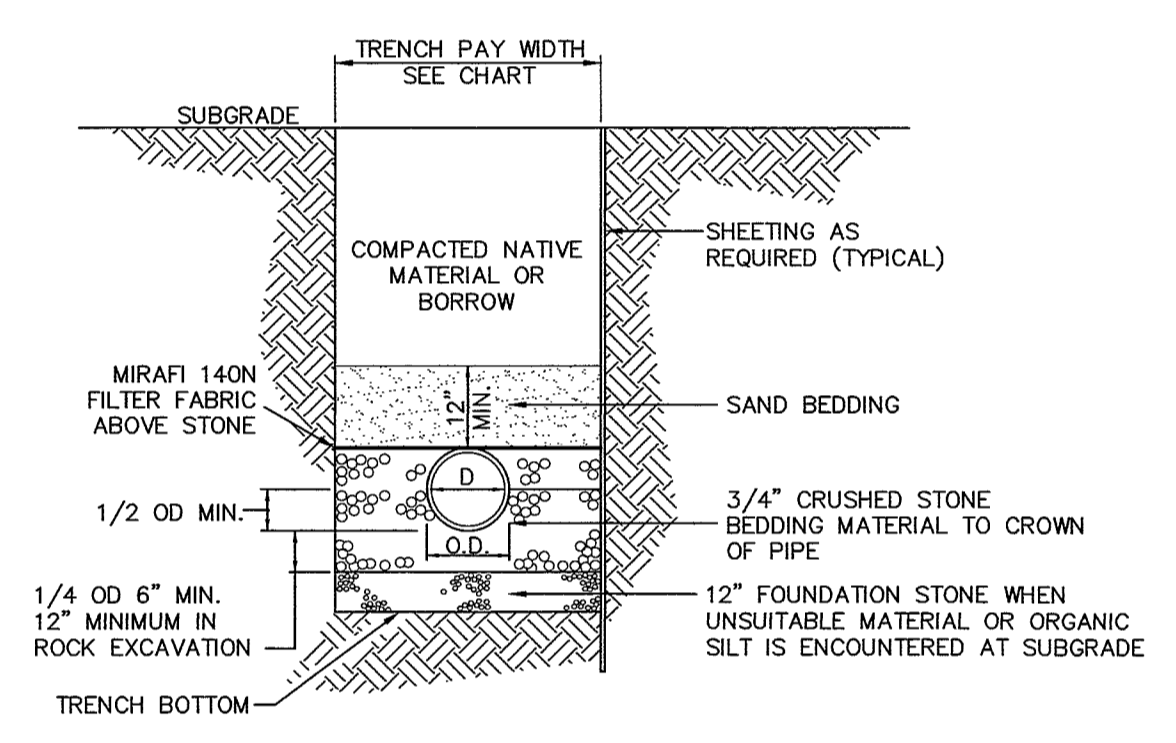


- NOTES:**
1. OUTLETS TO BE 2' MIN. WIDE AT CULVERT & 12' MIN. AT END OF PAD.
 2. INSTALL STAINLESS STEEL ANIMAL GUARD (AGRI-DRAIN OR EQUAL) AT OUTLET

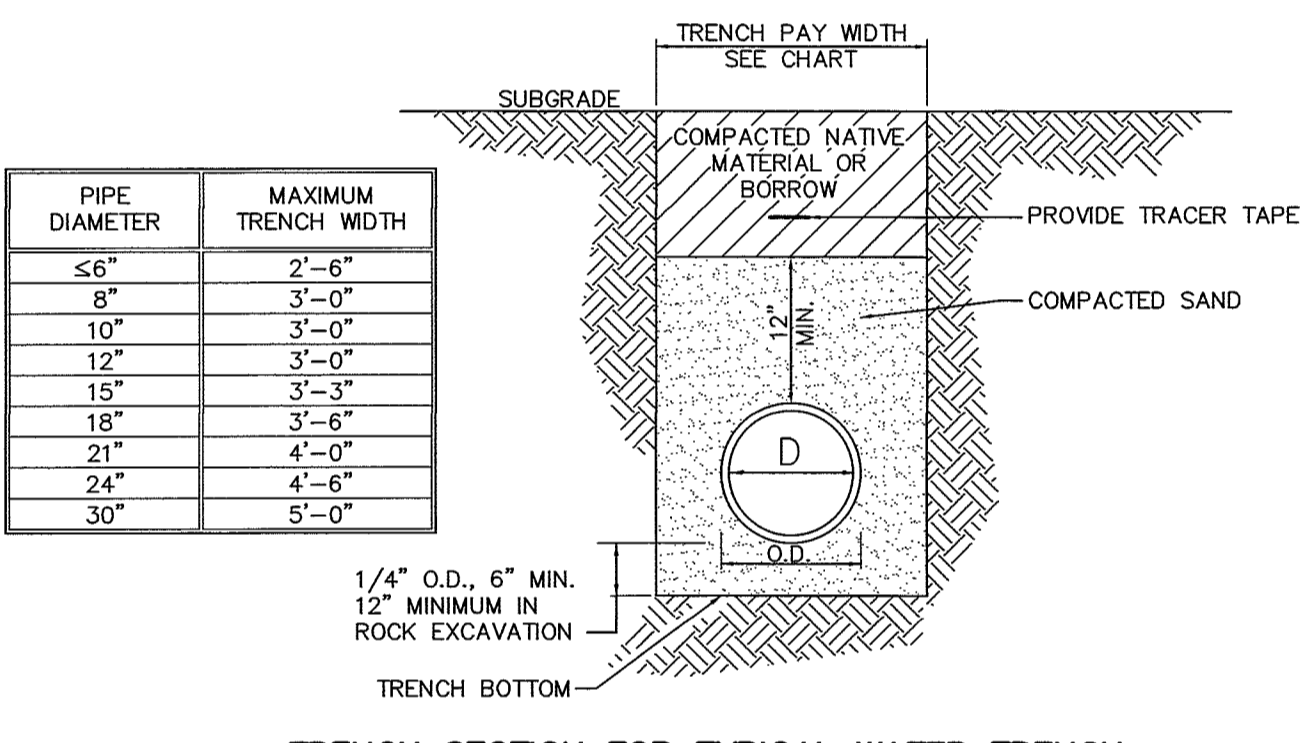
STONE OUTLET PAD
 NOT TO SCALE



CONSTRUCTION ENTRANCE PAD
 NTS

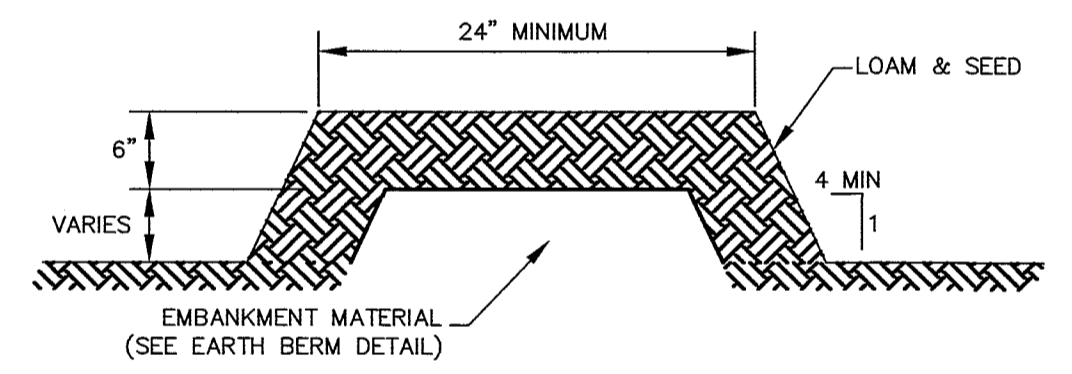


TRENCH SECTION FOR SANITARY SEWER
 NOT TO SCALE

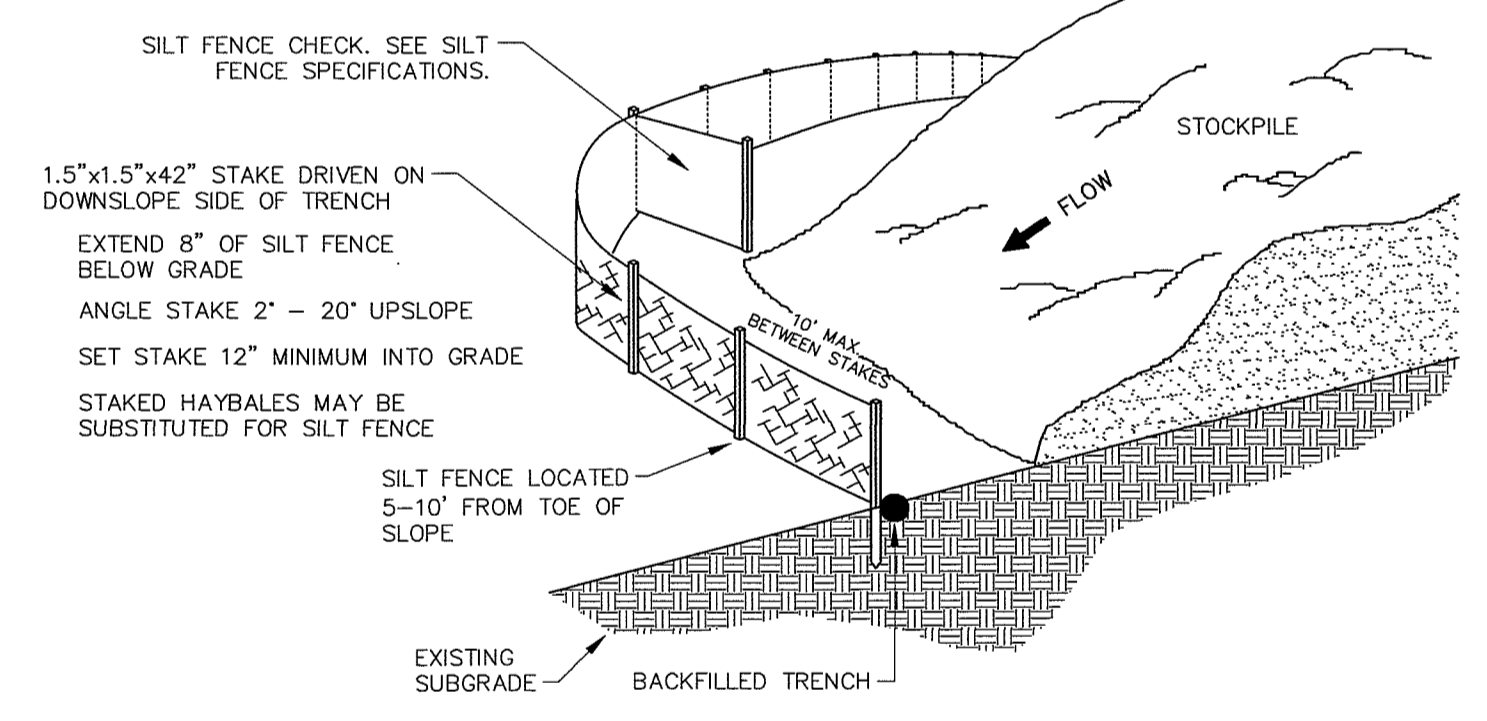


TRENCH SECTION FOR TYPICAL WATER TRENCH
 NOT TO SCALE

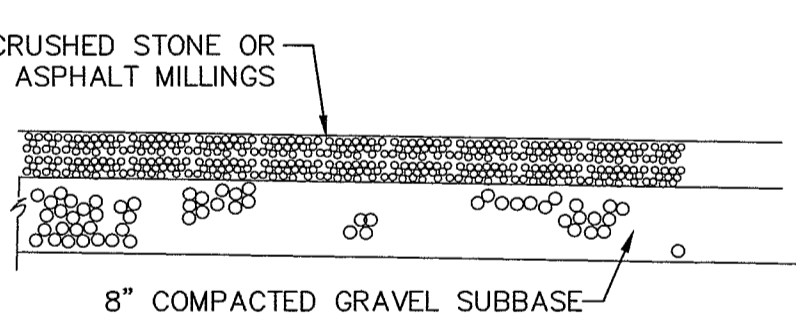
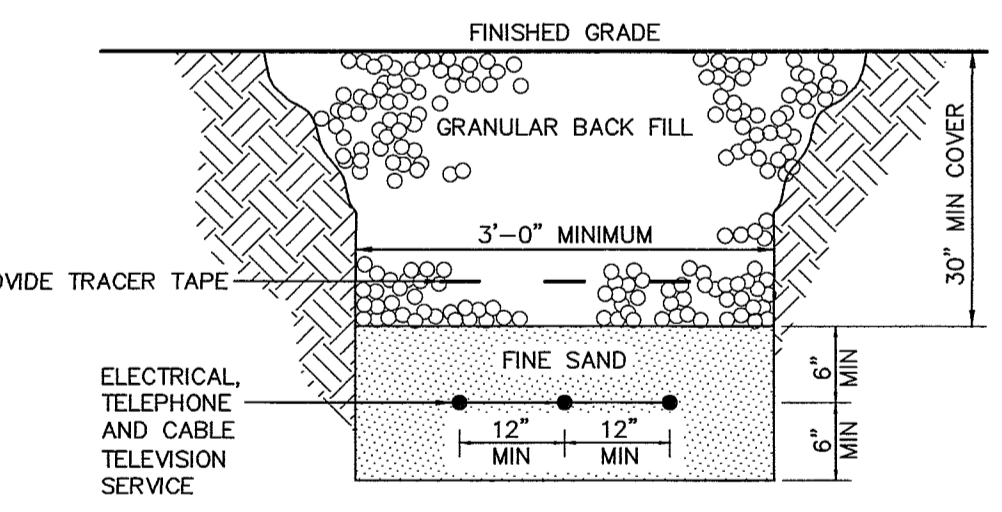
PIPE DIAMETER	MAXIMUM TRENCH WIDTH
≤6"	2'-6"
8"	3'-0"
10"	3'-0"
12"	3'-3"
15"	3'-6"
18"	4'-0"
21"	4'-6"
24"	4'-6"
30"	5'-0"



SPILLWAY CROSS SECTION
 NOT TO SCALE

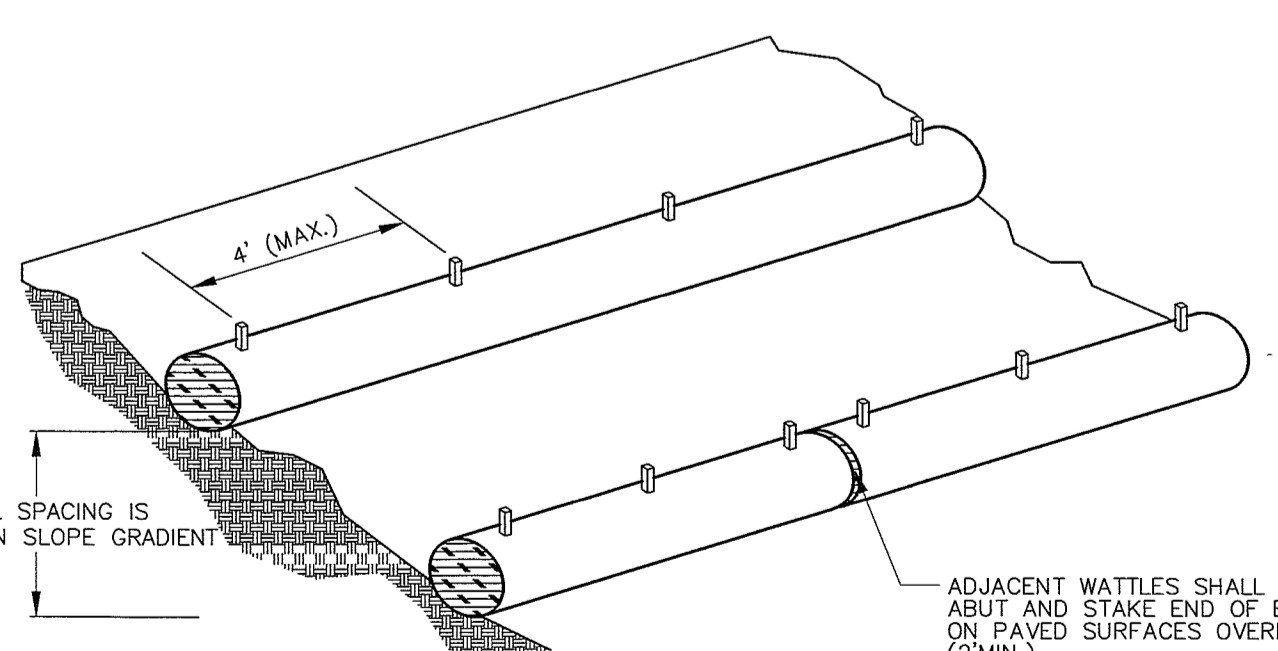


SILT FENCE AT TOE OF SLOPE APPLICATION
 NOT TO SCALE

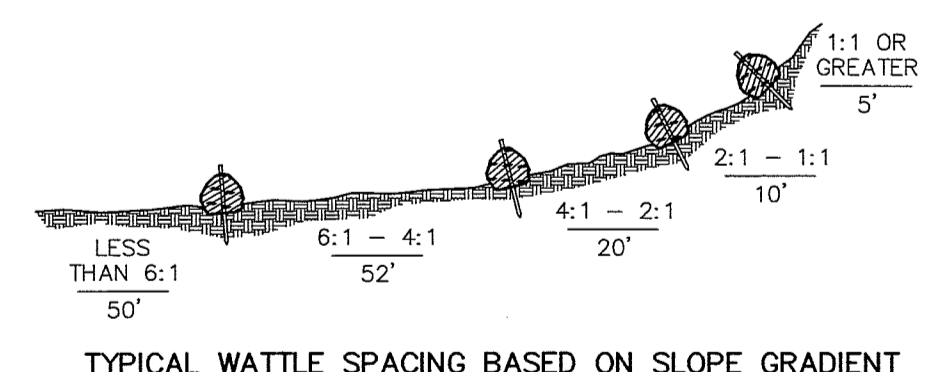


GRAVEL DRIVEWAY AND PARKING SURFACE
 NOT TO SCALE

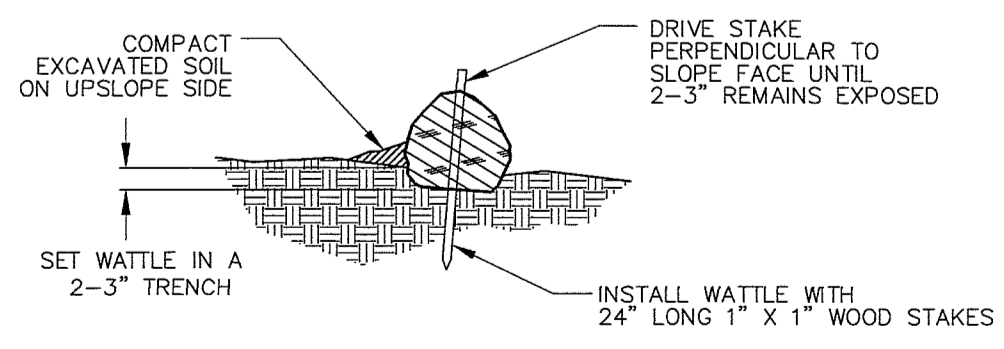
BURIED CABLE TRENCH CROSS SECTION
 NOT TO SCALE



TYPICAL WATTLE INSTALLATION GUIDE



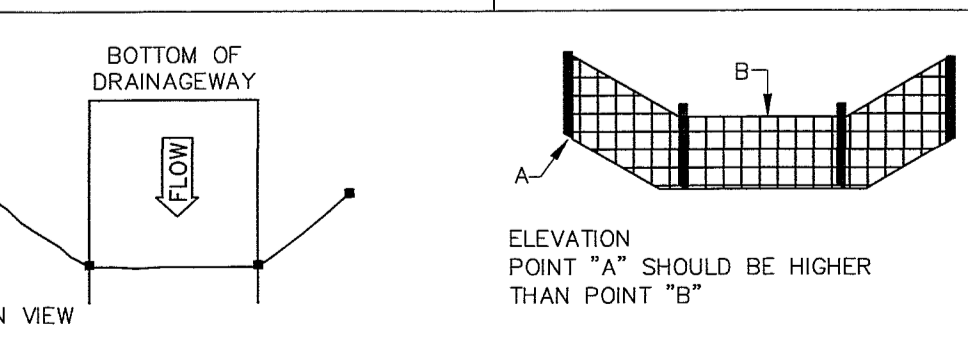
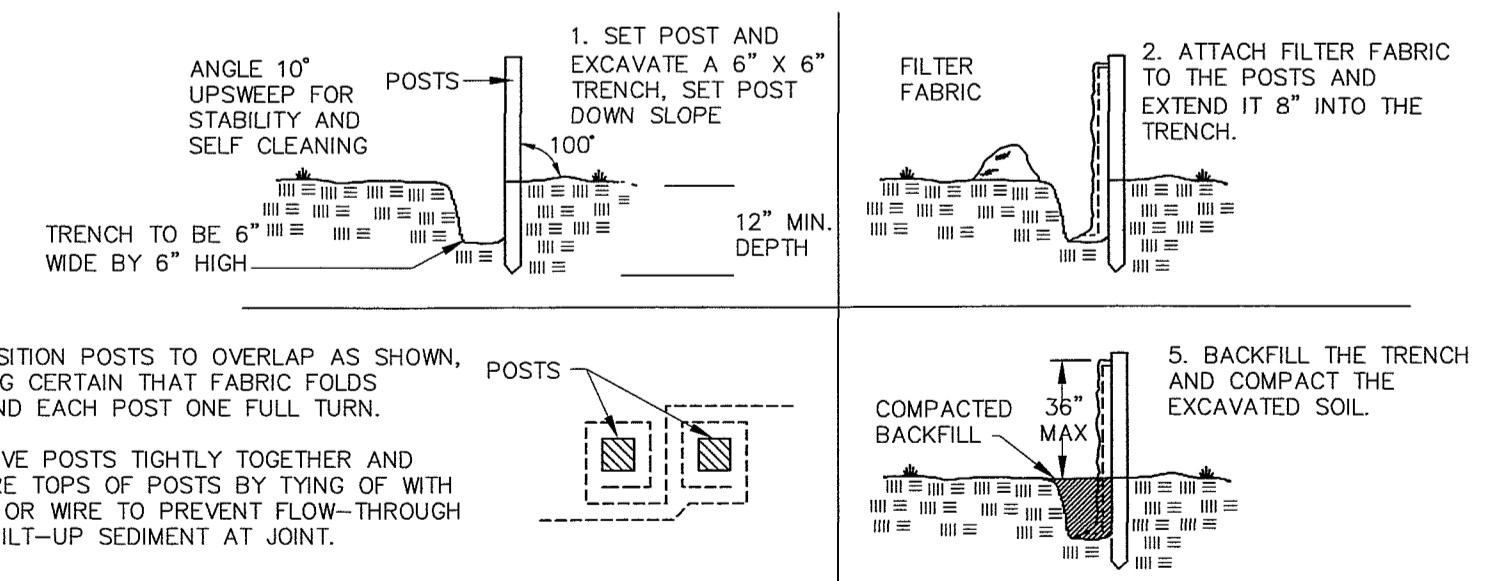
TYPICAL WATTLE SPACING BASED ON SLOPE GRADIENT



ENRICHMENT DETAIL

STRAW WATTLE INSTALLATION
 NOT TO SCALE

- STRAW WATTLE NOTES:**
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT THE SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 3. SECURE THE WATTLE WITH 24" LONG STAKES EVERY 3-4' WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLES LEAVING 2-3" OF STAKE EXTENDING ABOVE. THE WATTLE STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.
 4. SECURE WATTLES PLACED ON PAVED SURFACES WITH SANDBAGS SPACED AT AN INTERVAL SUFFICIENT TO PREVENT MOVEMENT OF WATTLE AND TO ENSURE THAT ENDS OF ADJACENT WATTLES REMAIN TIGHTLY ABUTTED.



PLACEMENT AND CONSTRUCTION OF A SILT FENCE
 NOT TO SCALE



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER OR IN ANY WAY IF AN FIRM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED. THE ALIEN ENGINEER ARCHITECT LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALSO BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Submitted / Revision	App'd.	By	Date

CONSTRUCTION DETAILS

Designed By:	Drawn By:	Checked By:
PMP	PMP	PMP
Issue Date:	Project No.:	Scale:
02/14/2025	092428	AS NOTED

File: V:\PROJECTS\ANY\7\092428\000_09_DRAWINGS\01_SHEETS\092428_SFP.DWG

EROSION AND SEDIMENTATION CONTROL NARRATIVE & NOTES

PROJECT NARRATIVE

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF TWO NEW BUILDINGS & MATERIALS STORAGE AREAS ON 4.9 ACRES IN THE TOWN OF PUTNAM, CONNECTICUT. THE LOCATION OF THE SITE IS ON THE NORTHEAST SIDE OF PARK ROAD AT THE KILLINGLY TOWN LINE. THIS PROJECT WILL CONSIST OF GRAVEL PARKING, STORMWATER MANAGEMENT SYSTEMS, AND UNDERGROUND UTILITIES.

IT IS ANTICIPATED THAT APPROXIMATELY 4.5 ACRES OF THE 4.9 ACRE SITE WILL BE DISTURBED DURING THE CONSTRUCTION OF THE FACILITY.

THE PROJECT SHALL BE DEVELOPED IN A SINGLE PHASE, HOWEVER, DISTURBED AREAS SHALL BE STABILIZED AT MILESTONE POINTS DURING CONSTRUCTION. ALL WORK SHALL BE SCHEDULED SUCH THAT STABILIZATION COINCIDES WITH THE ABILITY TO VEGETATE DISTURBED AREAS, APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1.

THIS PROJECT REQUIRES THE FOLLOWING PERMITS:
DISCONTINUANCE OF ABANDONED TOWN ROAD "OLD ROAD"
INLAND WETLANDS PERMIT
PLANNING & ZONING SPECIAL PERMIT
BUILDING PERMIT

ESTIMATED CONSTRUCTION SCHEDULE

- A. INSTALL EROSION AND SEDIMENT CONTROL SYSTEMS - APRIL 2025
- B. ROUGH GRADE SITE - APRIL 2025 THRU JUNE 2025
- C. CONSTRUCT BUILDING STRUCTURES - APRIL 2025 THRU NOVEMBER 2025
- D. INSTALL STORMWATER AND UTILITY SYSTEMS - MAY/JUNE 2025
- E. CONSTRUCT ACCESS ROADWAYS & PARKING - JULY/AUGUST 2025
- F. FINISH GRADE SITE AND INSTALL LANDSCAPING - SEPTEMBER 2025

GENERAL NOTES

- A. ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
- B. ALL CONSTRUCTION SHALL BE TO TOWN SPECIFICATIONS & REGULATIONS.
- C. NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE DESIGN ENGINEER'S APPROVAL.
- D. CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
- E. FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE TOWN.
- F. UNLESS OTHERWISE NOTED OR SPECIFIED, ALL ROADWAYS & STORM DRAINAGE SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STATE OF CONNECTICUT, D.O.T. "STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 815" AND ALL SUPPLEMENTS THERETO. SIMILARLY, PERTINENT CONSTRUCTION DETAILS THAT ARE NOT INCLUDED WITH THESE DRAWINGS SHALL CONFORM TO THE STATE OF CONNECTICUT, D.O.T. STANDARD ROADWAY DRAWINGS.
- G. CONTRACTOR SHALL NOTIFY THE TOWN OF CONSTRUCTION SCHEDULE SO THAT INSPECTION MAY BE PROVIDED.
- H. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED ON PLANS HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PATROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- I. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

CONSTRUCTION SEQUENCE

- A. STAKEOUT LIMIT OF DISTURBANCE.
 - B. HOLD A PRECONSTRUCTION MEETING.
 - C. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
 - D. INSTALL THE CONSTRUCTION ENTRANCE.
 - E. PRIOR TO INSTALLATION OF SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
 - F. INSTALL PERIMETER FILTER (SILT FENCE OR WATTLES)
 - G. NOTIFY ZONING ENFORCEMENT OFFICER THAT CONTROL MEASURES HAVE BEEN INSTALLED
 - H. PERFORM ALL NECESSARY CLEARING AND GRUBBING OPERATIONS.
 - I. EXCAVATE & DISPOSE OF ALL STUMPS OFF SITE.
 - J. STRIP ALL TOPSOIL WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE. STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS.
 - K. ROUGH GRADE SITE.
 - L. EXCAVATE STORMWATER BASIN TO FINISH GRADE. LOAM, SEED & STABILIZE SIDE SLOPES.
 - M. DIG FOUNDATIONS AND STOCKPILE MATERIAL AS REQUIRED.
 - N. STABILIZE CUT AND FILL SLOPES.
 - O. CONSTRUCT FOUNDATION AND ERECT STRUCTURES.
 - P. INSTALL SERVICE UTILITIES.
 - Q. FINISH GRADE ACCESS DRIVEWAYS & PARKING AREAS.
 - R. EXCAVATE STORMWATER BASIN BOTTOM AND INSTALL UNDERDRAIN & PERMEABLE SOIL MIXTURE.
 - S. PLACE TOPSOIL WHERE REQUIRED. INSTALL PERIMETER LANDSCAPE PLANTINGS.
 - T. FINISH GRADE SIDE SLOPES, SEED AND MULCH.
 - U. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS.
 - V. ALL REMAINING EXPOSED AREAS SHALL BE LOAMED, SEEDED AND MULCHED OR SODDED WITHIN 14 DAYS OF FINAL GRADING.
 - W. NOTIFY ZONING ENFORCEMENT OFFICER THAT PROJECT IS COMPLETE AND EROSION AND SEDIMENT CONTROLS ARE TO BE REMOVED.
 - X. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
 - Y. CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT FROM DRAINAGE STRUCTURES OR BASINS.
- NOTE: SEVERAL OF THE ABOVE ACTIVITIES MAY BE DONE SIMULTANEOUSLY.

EROSION & SEDIMENT CONTROL OPERATIONS AND MAINTENANCE

- A. EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL", PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND TO TOWN REGULATIONS.
- B. INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS WATTLES AND SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
- C. ALL STOCKPILED MATERIAL SHALL BE RINGED WITH WATTLES OR SILT FENCES. ANY MATERIAL TO BE STOCKPILED LONGER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR JUTE NETTING.
- D. WATTLES OR SILT FENCE SHALL BE PLACED 5-10 FEET FROM THE TOE OF ALL CRITICAL SLOPES AS SHOWN ON THE PLAN. THESE SHALL BE CHECKED BY THE CONTRACTOR REGULARLY AND REPAIRED WHENEVER THEY FAIL TO ENSURE CLEAN RUN-OFF FROM THE SITE.
- E. ADDITIONAL CONTROL MEASURES IF REQUESTED BY THE TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.
- F. ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.
- G. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- H. THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IF REQUIRED BY THE TOWN.
- I. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.1 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. ACCUMULATED SEDIMENT SHALL BE REMOVED MONTHLY OR WHENEVER SEDIMENT DEPTH REACHES 50% OF AVAILABLE STORAGE.
- J. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REPLACED WITHIN 24 HOURS OF AN OBSERVED FAILURE.
- K. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOIL WHEN LEAVING THE SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLE DRIVERS TO CLEAN SOIL MATERIAL FROM TIRES IN FRONT OF THE SITE. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THROUGHFARES DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY.
- L. THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK BY THE CITY/TOWN.
- M. MINIMIZE OR ELIMINATE ANY UNNECESSARY LAND DISTURBANCE OR CLEARING.

STORMWATER OPERATION AND MAINTENANCE

STORMWATER FACILITY OPERATION AND MAINTENANCE PLAN:

CONSTRUCTION PHASE

GENERAL PROVISIONS:

- 1. CONTRACTOR TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE PLAN SET.
- 2. PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOWN ON ABOVE PLAN SHALL BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYSTEM DURING CONSTRUCTION, THE CONTRACTOR IS TO INSTALL INLET PROTECTION AT ALL CATCH BASINS AND SET SILT FENCE AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- 3. EROSION CONTROLS ARE TO BE INSPECTED ON A DAILY BASIS. UPON DISCOVERY, THE CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM AN EROSION CONTROL STRUCTURE.
- 4. ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED TO PREVENT EROSION.
- 5. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.

STORMWATER BASIN:

- 1. STORMWATER BASIN UNDERDRAIN SHALL NOT BE INSTALLED UNTIL CONTRIBUTING DRAINAGE AREAS ARE VEGETATED OR OTHERWISE STABLE & ANY ACCUMULATED SEDIMENT HAS BEEN REMOVED AND DISPOSED OF.
- 2. CONTRACTOR TO INSPECT WEEKLY OR AFTER EACH 0.5 INCH RAIN EVENT.
- 3. INSPECTIONS SHOULD FOCUS ON THE DURATION OF STANDING WATER IN THE BASIN. (PONDING AFTER 48 HOURS INDICATES POSSIBLE CLOGGING OF THE BOTTOM OF THE BASIN)
- 4. CONTRACTOR SHALL CLEAN INSPECT DETENTION SYSTEM AFTER SITE IS COMPLETELY STABILIZED AND PRIOR TO TRANSFER TO OWNER.

POST-DEVELOPMENT PHASE

GENERAL PROVISIONS:

SNOW STOCKPILING:

SNOW ACCUMULATIONS REMOVED FROM STREETS AND PARKING LOTS SHALL BE PLACED IN UPLAND AREAS, WHERE SAND AND DEBRIS WILL REMAIN AFTER SNOW MELT FOR LATER REMOVAL. CARE SHOULD BE TAKEN NOT TO DEPOSIT SNOW IN THE IMMEDIATE VICINITY OF CATCH BASINS, DRAINAGE SWALES, OR SLOPES LEADING TO BODIES OF WATER, AND DRINKING WATER WELL SUPPLIES.

STORMWATER BASIN

STORMWATER BASIN SHALL BE INSPECTED AT LEAST TWICE ANNUALLY AND AFTER ALL MAJOR STORMS TO ENSURE THAT IT IS OPERATING AS INTENDED. PRETREATMENT BMP'S SHALL BE INSPECTED AND CLEANED DURING THE REGULAR BI-ANNUAL INSPECTIONS. POTENTIAL PROBLEMS THAT SHOULD BE CHECKED INCLUDE:
• PONDING
• EROSION
• CLOGGING OF INLET AND OUTLET PIPES
ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. TRASH SHALL BE REMOVED AND THE BANKS, OF BASINS, MOWED AT LEAST TWICE PER YEAR. (MOWING SHOULD BE PERFORMED WHEN GROUND IS DRY TO AVOID RUTS AND COMPACTION) SEDIMENT SHALL BE REMOVED FROM THE BASIN AND PRETREATMENT AREA AS NECESSARY, AND AT LEAST ONCE EVERY FIVE YEARS.

SILT FENCE SPECIFICATIONS

- A. SYNTHETIC FILTER FABRIC SHALL BE A PEROVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER, ETHYLENE, OR SIMILAR FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - 1. FILTERING EFFICIENCY 75 PERCENT (MIN)
 - 2. GRAB TENSILE STRENGTH 100 POUNDS
 - 3. ELONGATION AT FAILURE 15 PERCENT
 - 4. MULLEN BURST STRENGTH 250 POUNDS PER SQUARE INCH
 - 5. PUNCTURE STRENGTH 50 POUNDS
 - 6. APPARENT OPENING SIZE 0.60mm < X < 0.90mm
 - 7. FLOW RATE 0.2 GALLONS PER SQUARE FOOT PER MINUTE
 - 8. PERMITTIVITY 0.05 PER SECOND (MIN)
 - 9. ULTRAVIOLET RADIATION STABILITY 70 PERCENT AFTER 500 HOURS OF EXPOSURE (MIN)
- B. STAKES ARE TO BE MADE OUT OF HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 1.5 SQUARE INCHES OR STEEL POSTS WITH A MINIMUM WEIGHT OF 0.5 POUNDS PER LINEAR FOOT.
- C. TORN OR PUNCTURED GEOTEXTILES SHALL NOT BE USED.
- D. ON SLOPES WHERE SURFACE FLOW FOLLOWS THE SILT FENCE LINE, PERPENDICULAR SILT FENCE CHECKS SHALL BE INSTALLED AT 50 FOOT INTERVALS.
- E. LINES OF SILT FENCE SHOULD FOLLOW CONTOUR LINES 5-10 FEET DOWN GRADIENT FROM THE SLOPE. WHERE CONTOUR LINES CAN NOT BE FOLLOWED PERPENDICULAR WINGS SHOULD BE PLACED AT 50 FOOT INTERVALS.

PERSON RESPONSIBLE FOR MAINTAINING CONTROL MEASURES DURING CONSTRUCTION.

NAME _____
ADDRESS _____
TELEPHONE # _____

MAINTENANCE LOG

LOCATION	DESCRIPTION	DATE	INITIALS

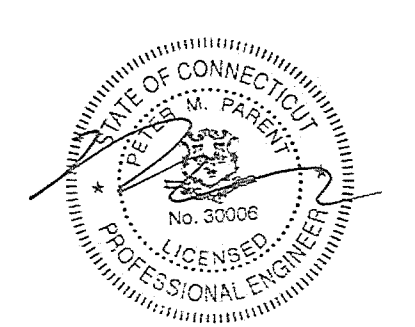
PROJECT DATES _____ DATE _____ INITIALS _____
PROJECT GROUND/REAKING _____
FINAL STABILIZATION _____

SUGGESTED SEEDING MIXTURES AND PRACTICES

AREAS WHERE SEED MIX APPLIES	SEEDING MIXTURES BY WEIGHT	RATE PER 1,000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	RED FESCUES	45%	APRIL 1 - JUNE 15 OR AUG. 15 - OCT. 1
	KENTUCKY BLUEGRASS	45%	
	PERENNIAL RYEGRASS	10%	
ROAD CUTS, FILLS, DIVERSION DITCHES, & STORMWATER BASINS	KENTUCKY TALL FESCUE	47%	APRIL 1 - JUNE 15 OR AUG. 15 - OCT. 1
	RED TOP	6%	
	CREeping RED FESCUE	47%	
WHERE TREES ARE TO BE RETAINED, THE SEED MIXTURE SHOULD BE ADAPTED FOR SHADY CONDITIONS.			
TEMPORARY SEEDING	ANNUAL RYEGRASS OR PERENNIAL RYEGRASS	1-1/2 LBS.	WITHIN 7 DAYS AFTER SUSPENSION OF GRADING WORK

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CHA
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SITE DEVELOPMENT PLAN
PREPARED FOR
112 OLD ROAD LLC
112 OLD ROAD
PUTNAM, CT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO USE AN SEAL OR ANY SEAL AT ALL TIMES BEARING THE NAME OF A LICENSED PROFESSIONAL. IF A LICENSED PROFESSIONAL, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL VIOLATE THIS PROVISION AND BELIEVED TO BE IN VIOLATION "ALERTED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALERTATION, AND A SPECIFIC DESCRIPTION OF THE VIOLATION.

No.	Submittal / Revision	App'd.	By	Date

E&S CONTROL & STORMWATER NOTES

Designed By: PMP	Drawn By: PMP	Checked By: PMP
Issue Date: 02/14/2025	Project No: 092428	Scale: AS NOTED

Drawing No.:
SHEET 9

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